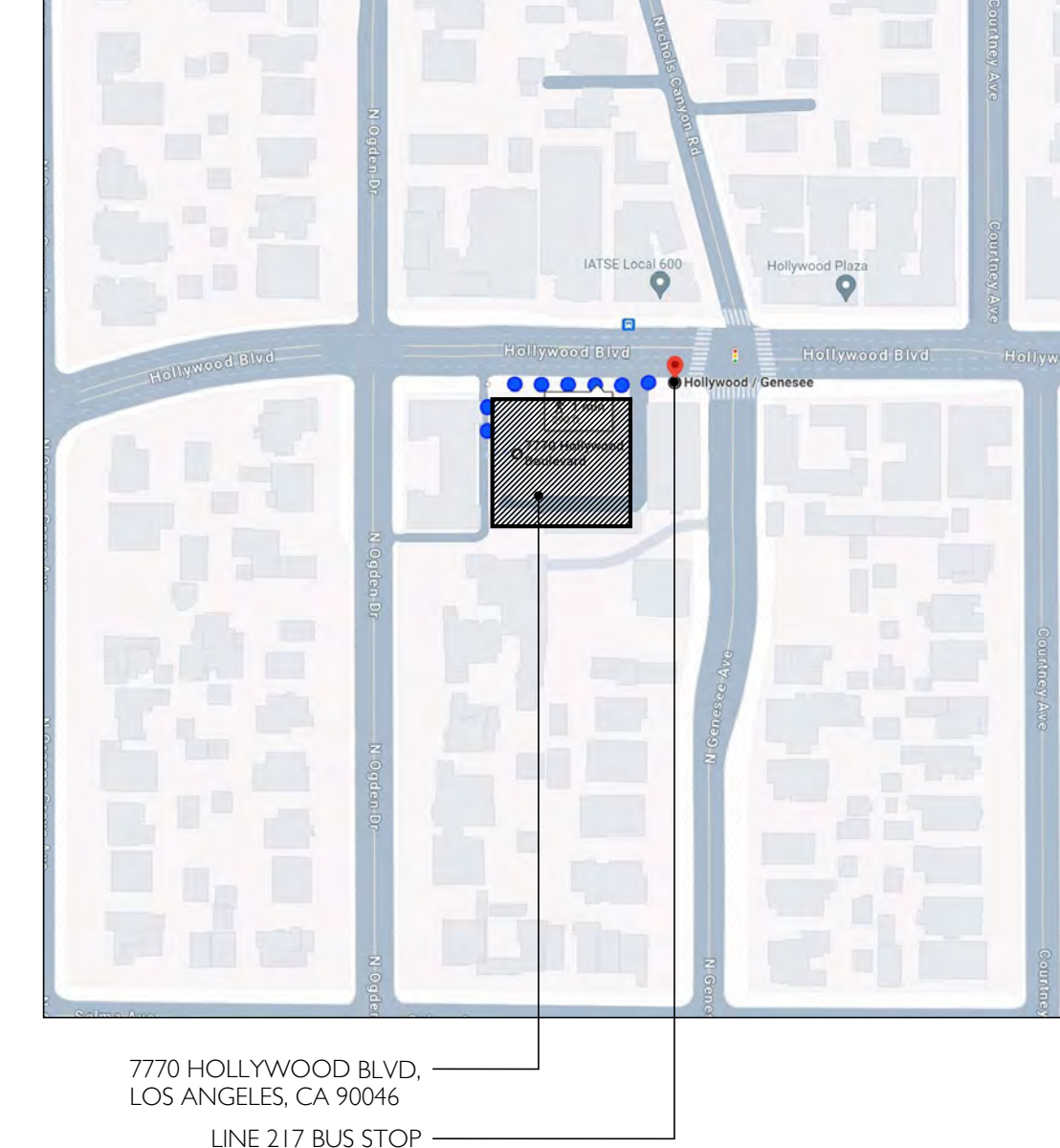
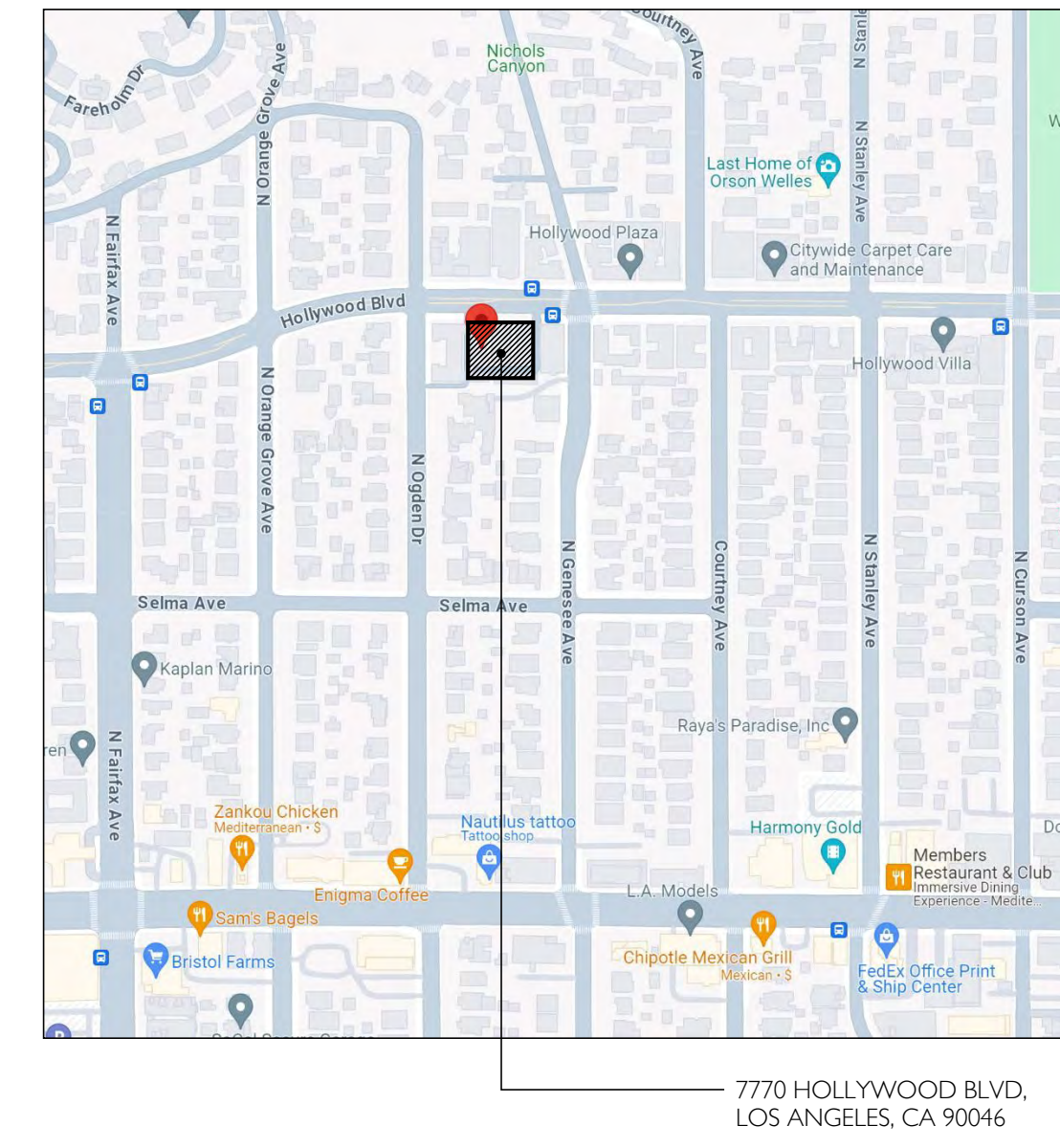

7 7 6 2 - 7 7 7 0 W. H O L L Y W O O D B O U L E V A R D

ABBREVIATIONS	SYMBOLS
A.F.F.	ABOVE FINISH FLOOR
ADJ	ADJACENT
AD	AREA DRAIN
ALUM.	ALUMINUM
AP	ACCESS PANEL
AUD	AUDITORIUM
BLDG	BUILDING
BLW	BELOW
BM	BEAM
BOT	BOTTOM
C WALL	CURTAIN WALL
CD	CONDENSATE DRAIN
CONST	CONSTRUCTION
CONT	CONTINUOUS
CS	CHARGING STATION
DIM	DIMENSION
DKG	DOOR
DR	DRAWING
DWG	ELEVATION
EL	ELECTRICAL
ELEC	ELECTRICAL PANEL
EP	EXISTING
EX, (E)	EXTERIOR
EXT	EXTRUDED
EXTR.	FURNISHED BY OTHERS
F.B.O.	FLOOR DRAIN
FD	FIRE EXTINGUISHER CABINET
FEC	FINISH FLOOR
F.F.	FINISH FLOOR LINE
F.F.L.	FACE OF STRUCTURE
F.O.S.	FIRE RATED
FR	FINISH STRUCTURE FLOOR
F.S.	FLUORESCENT
FLR	FOUNDATION
FLUOR	FIREPROOFING
FND	FRAME(ED), (ING)
FND	FIRE RETARDANT TREATED
FPG	FIXED PANEL
FR	FOOTING
F.R.T.	FURRED (ING)
FP	GENERAL CONDITIONS
FURR	GAUGE
G.C.	GALVANIZED
GA	GYP/SUM WALL BOARD
GV	HOSE BIB
GVWB	HOLLOW METAL
HB	HEATING, VENTILATION, & AIR CONDITIONING
H.M.	HORIZONTAL
HVAC	INTERIOR
HOR	LOW POINT
INT	LAMINATE
L.P.T.	LIGHTWEIGHT
LAM	LIGHTWEIGHT CONCRETE
LW	MASONRY
LWC	MECHANICAL MANUFACTURER
MAS	MINIMUM
MECH	METAL PANEL
MFR	METAL
MIN	MTL PNEL
MTL	(N)
MTL PNEL	NO CEILING
(N)	NOT IN CONTRACT
N.C.	OUTER DIAMETER
N.I.C.	OPPOSITE HAND
O.D.	OPENING
O.H.	OPENING
OPG	OVERFLOW SCUPPER
OS	OVERHEAD
OVHD	PROPERTY LINE
PL	PLASTER
PLSTR	PLASTER
P. LAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PTD	PAINTED
RCP	REFLECTED CEILING PLAN
RAD	RADIUS
REF	REFERENCE
REM	REMOVE
REV	REVERSE
REQ	REQUIRED
RFG	ROOFING
RM	ROOM
R.O.	ROUGH OPENING
S.C.	SOLID CORE
SIM	SIMILAR
S.STL	STAINLESS STEEL
SHT	SHEET
SHT'G	SHEATHING
STRUCT	STRUCTURAL
T	TREAD
TBD	TO BE DETERMINED
T.O.	TOP OF
T.PTN	TOILET PARTITION
TEL	TELEPHONE
TV	TELEVISION
TYP	TYPICAL
U.O.N	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
WRB	WATER RESISTANT BARRIER
WCO	WALL CLEANOUT
XCO	EXTERIOR CLEANOUT
XD	EXTERIOR DRAIN

VICINITY MAPS



PROJECT INFORMATION

PROJECT LOCATION	7762-7768 W. HOLLYWOOD BLVD, LOS ANGELES, CA 90046
PROPERTY OWNER / CLIENT	HMM CORP 9777 WILSHIRE BOULEVARD BEVERLY HILLS CA 90212
CONTRACTOR	TO BE DETERMINED
ARCHITECT	64NORTH ARCHITECTURE LTD. 719 FAIRFAX AVE, SUITE C LOS ANGELES, CA 90046 T 310 919 0919

APPLICABLE CODES

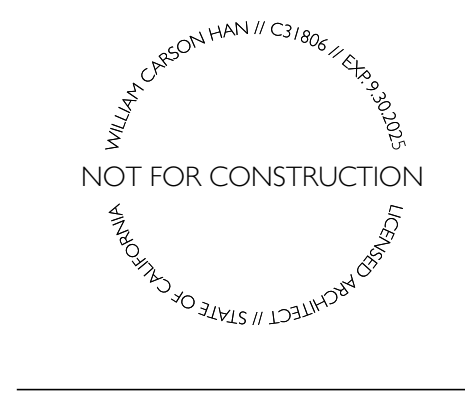
- 2022 EDITION OF THE CALIFORNIA RESIDENTIAL CODE
- 2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE
- 2022 EDITION OF THE CALIFORNIA MECHANICAL CODE
- 2022 EDITION OF THE CALIFORNIA PLUMBING CODE
- 2022 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 EDITION OF THE CALIFORNIA ENERGY CODE
- 2022 EDITION OF THE LOS ANGELES GREEN BUILDING CODE

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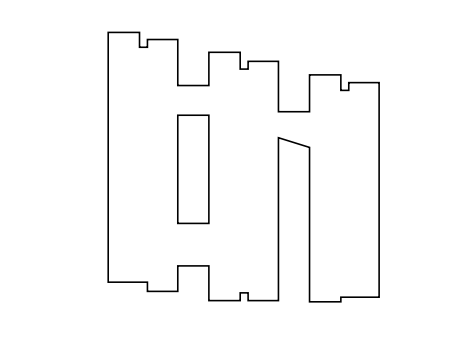
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- SHORING / LABB FLUNK + ASSOCIATES
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- SURVEYOR / ASI CONSULTANTS
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WALNUT CREEK, CA 94597
T 925 746 6000

03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

7762-7770 WEST HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

06 / REVISIONS

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

07 / SHEET TITLE

PROJECT INFORMATION, ABBREVIATIONS, & SYMBOLS

08 / SHEET NUMBER

A001

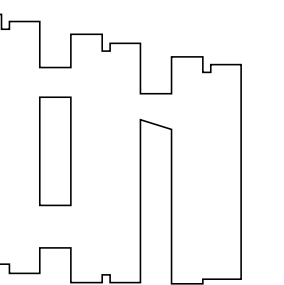
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T 310 919 0919LAND USE CONSULTANT /
BEROUKHM & COMPANY
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EL SEGUNDO, CA 90245
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LABB FLUNK + ASSOCIATES
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T 213 239 9700SURVEYOR /
A&I CONSULTANTS
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03 / STAMP



04 / KEY PLAN

N
1

05 / PROJECT NAME & ADDRESS

7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

06 / REVISIONS

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

07 / SHEET TITLE

DRAWING
INDEX

08 / SHEET NUMBER

A002

#	DESCRIPTION	SCALE	PERMIT
DRAWING INDEX			
GENERAL			
A000	COVER SHEET	N.T.S.	●
A001	PROJECT INFORMATION, ABBREVIATIONS, & SYMBOLS	N.T.S.	●
A002	DRAWING INDEX	N.T.S.	●
A003	PROJECT DATA	N.T.S.	●
A011	3D PERSPECTIVE VIEWS	N.T.S.	●
A021	SITE DIAGRAMS	1/32" = 1'-0"	●
A022	BUILDING AREA DIAGRAMS	1/32" = 1'-0"	●
A023	FAR DIAGRAMS	1/32" = 1'-0"	●
A024	SCHOOL FEE DIAGRAMS	1/32" = 1'-0"	●
A025	OPEN SPACE DIAGRAMS	1/32" = 1'-0"	●
A026	ALLOWABLE OPENINGS	1/16" = 1'-0"	●
A027	ALLOWABLE OPENINGS	1/16" = 1'-0"	●
A031	NOTES	N.T.S.	●
A032	NOTES	N.T.S.	●
A041	ACCESSIBILITY DIAGRAMS	N.T.S.	●
A042	ACCESSIBILITY DIAGRAMS	N.T.S.	●
A043	ACCESSIBILITY DIAGRAMS	N.T.S.	●
A044	ACCESSIBILITY DIAGRAMS	N.T.S.	●
A045	ACCESSIBILITY DIAGRAMS	N.T.S.	●
A046	ACCESSIBILITY DIAGRAMS	N.T.S.	●
A051	GREEN BUILDING FORMS	N.T.S.	●
A052	TITLE 24	N.T.S.	●
A053	TITLE 24	N.T.S.	●
A054	TITLE 24	N.T.S.	●
A061	PRODUCT DATA	N.T.S.	●
A062	PRODUCT DATA	N.T.S.	●
A063	PRODUCT DATA	N.T.S.	●
A071	TRANSIT SCHEDULES	N.T.S.	●
SURVEY			
	SURVEY	1" = 20'	●
ARCHITECTURAL			
A101	SITE PLAN	1/8" = 1'-0"	●
A200	BASEMENT FLOOR PLAN	1/8" = 1'-0"	●
A201	L1 FLOOR PLAN	1/8" = 1'-0"	●
A202	L2 FLOOR PLAN	1/8" = 1'-0"	●
A203	L3 FLOOR PLAN	1/8" = 1'-0"	●
A204	L4 FLOOR PLAN	1/8" = 1'-0"	●
A205	L5 FLOOR PLAN	1/8" = 1'-0"	●
A206	L6 FLOOR PLAN	1/8" = 1'-0"	●
A207	L7 FLOOR PLAN	1/8" = 1'-0"	●
A208	L8 FLOOR PLAN	1/8" = 1'-0"	●
A206	ROOF PLAN	1/8" = 1'-0"	●
A301	NORTH ELEVATION	1/8" = 1'-0"	●
A302	EAST ELEVATION	1/8" = 1'-0"	●
A303	WEST ELEVATION	1/8" = 1'-0"	●
A304	SOUTH ELEVATION	1/8" = 1'-0"	●
A305	WEST COURTYARD WEST ELEVATION	1/8" = 1'-0"	●
A306	WEST COURTYARD EAST ELEVATION	1/8" = 1'-0"	●
A307	EAST COURTYARD WEST ELEVATION	1/8" = 1'-0"	●
A308	EAST COURTYARD EAST ELEVATION	1/8" = 1'-0"	●
A401	NORTH - SOUTH SECTION	1/8" = 1'-0"	●
A501	ENLARGED UNIT PLANS	1/4" = 1'-0"	●
A511	ENLARGED KITCHENS & BATHROOMS	1/4" = 1'-0"	●

PARKING

Vehicular Parking				
Residential Parking				
Required Per 65915(P)(1)	No. Units	Spaces Per Unit		Total
Studio & 1 Bedroom Units	213	1		213
2-3 Bedroom Units	0	1.5		0
4+ Bedroom Units	0	2.5		0
Total				213
Per AB2097				
Required				0
Provided Residential				
Total Spaces Provided				25
Standard Spaces				25
Compact Spaces				0
Total Accessible Parking Spaces Per 1109A.3 (2% Total Units, 1 Min.)				2
Accessible Van Spaces (1 in 8 Accessible Spaces, 1 Min., Incl. in Above)				1
Total EV Spaces (30% of Total)				8
EVCS Spaces (10% of Total, Included in Above)				3
EVCS With Access Aisle Per 4.106.4.2.2.3 (Included in Above)				1
Bicycle Parking				
Required Per LAMC 12.21 A.1.6.(a)(1)(i) (Fractions Rounded To Nearest Number)				
Long Term	1 to 25	1 Per Unit		25
	26 to 100	1 Per 1.5 Units		50
	101 to 200	1 Per 2 Units		50
	201+	1 Per 4 Units		4
Long Term Required				129
Per AB1763 Waiver				
Required				0
Provided				
				0
Short Term				
	1 to 25	1 Per 10 Units, Min. 2		3
	26 to 100	1 Per 15 Units		5
	101 to 200	1 Per 20 Units		5
	201+	1 Per 40 Units		1
Short Term Required				14
Provided				
				14

OPEN SPACE

Required				
Unit Type	Units	SF Per	Total Req.	
Less Than 3 Hab. Rooms (Studio & 1-Beds)	213	100	21,300 SF	
3 Habitable Rooms (2-Beds)	0	125	0 SF	
More Than 3 Hab. Rooms (3+ Bedrooms)	0	175	- SF	
Subtotal	213		21,300 SF	
20% Reduction Per Open Space				
Total Required			21,300 SF	
Per AB1763 Waiver				
Required				2,035 SF
Provided				
Interior Common Spaces				
Maximum (25% of Total)		0 SF		
None Provided		0 SF		
Total		0 SF		
Exterior Common Spaces				
Ground Floor		2,035 SF		
Roof/Top		0 SF		
Total		2,035 SF		
Planted (25% of Exterior)			509 SF	
Private Common Spaces				
Private Common Spaces		0 SF		
Total		0 SF		
Total, Provided				
				2,035 SF
TREES				
Required				
1 Tree Per 4 Units				53
Per AB1763 Waiver				
Required				0
Provided				
Trees on Site				0

FAR / FLOOR AREA RATIO

Allowed		
Buildable Area		15,399 SF
Floor Area		46,197 SF
Floor Area Ratio		3 :1
Allowed Per AB1763 Waivers		
Ratio		6.31 :1
Total SF		97,141 SF
Proposed		
Basement		0 SF
L1		11,930 SF
L2		12,173 SF
L3		12,173 SF
L4		12,173 SF
L5		12,173 SF
L6		12,173 SF
L7		12,173 SF
L8		12,173 SF
Total		97,141 SF
Floor Area Ratio		6.31 :1

PROJECT DATA

Description	
8-Story, 213-Unit 100% Affordable Housing Project	
5 Levels of Type III-A Construction Above 3 Levels of Type I-A Construction & 1 Level Type I-A Semi-Subterranean Garage	
Building Information	
Occupancy Type	R2 and S2
Construction Type	5 Stories of Type III-A Construction Above 3 Stories of Type I-A Construction Above Type I-A Semi-Subgrade Garage
Fire Sprinklers	Automatic Fire Sprinkler Per NFPA 13
Emergency Responder System	Per LAFD Requirements
Legal & Zoning Information	
Address	7770 W Hollywood Blvd Los Angeles, CA 90046
Assessor Parcel No. (APN)	5551014011
Tract	TR 10359
Lot	FR LT A
Block	None
Zoning	[Q]R3-IXL
Specific Plan / CPIO	None
Community Design Overlay	None
Enterprise Zone	No
AB 2097 Eligible	Yes
Very Low VMT	Yes
ED-1	Eligible
Q Condition	Effective 1989
Historical Preservation	N/A
Lot Area	
Lot Area	21,717.5 SF
	0.50 AC
Lot Area for Density	21,717.5 SF
Buildable Area	15,399.0 SF
Density	
Permitted	
Density Per LAMC	1 Unit Per 1200 SF
Units Permitted	18
Per AB1763	
Units Permitted	Unlimited
Proposed	
Total Units	213
FAR	
Permitted Per LAMC	
Ratio	3 :1
Allowable SF	46,197 SF
Per AB1763 Waivers	
Ratio	6.31 :1
Total SF	97,141 SF
Proposed	
Ratio	6.31 :1
Total SF	97,141 SF
Height & Stories	
Permitted Per LAMC	
R3-IXL Zone	30'
Stories	Unlimited
Proposed Per AB1763 Waiver	
Zoning Height	90'-6 3/4"
Stories	8
Dedications	
Hollywood Boulevard	5'-0"
Yards & Setbacks	
Permitted Per LAMC	
Front Yard	15'
Side Yards	11'
	(5'+1' For Each Story Over 2nd, 16' Max)
Rear Yard	15'
Per AB1763 Waivers	
Front Yard	0'
Side Yard	5'
Side Yard	5'
Rear Yard	4'-6"
Proposed	
Front Yard / Building Line	0'
Westerly Side Yard	5'
Easterly Side Yard	5'
Rear Yard	4'-6"
Incentives Per AB1763	
Ministerial Incentives (Low VMT)	
1. Unlimited Density	
Off-Menu Incentives	
1. Front Yard Setback of 0' In Lieu of 15' (100% Reduction)	
2. Rear Yard Setback of 4'-6" In Lieu of 15' (70% Reduction)	
3. Westerly Side Yard Setback of 5'-0" In Lieu of 11' (55% Reduction)	
4. Easterly Side Yard Setback of 5'-0" In Lieu of 11' (55% Reduction)	
Waivers Per AB1763	
1. Waiver Of Development Standard To Allow For 90.5% Reduction In the Required Open Space (2,035 SF In Lieu of 21,300 SF)	
2. Waiver Of Development Standard To Allow For 0 Long-Term Bicycle Parking Spaces In Lieu Of 129 (100% Reduction)	
3. Waiver Of Development Standard To Allow For 0 On-Site Trees In Lieu Of 54 In Lieu of 3	
4. Waiver Of Development Standard To Allow For 110% Increase In FAR to 6.31	
5. Waiver Of Development Standard To Allow For An Increase Of 60'-6 3/4" In Zoning Height to 90'-6 3/4" In Lieu of 30'-0"	
6. Waiver of Development Standard To Allow For a 0' Building Line In Lieu Of 15'	

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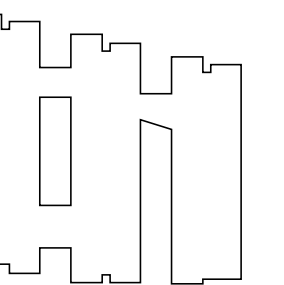
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03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

7762-7770 WEST
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LOS ANGELES, CA 90046

06 / REVISIONS

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

07 / SHEET TITLE

PROJECT DATA

08 / SHEET NUMBER

A003

01 PROJECT DATA
N.T.S.

02 / CLIENT & TEAM

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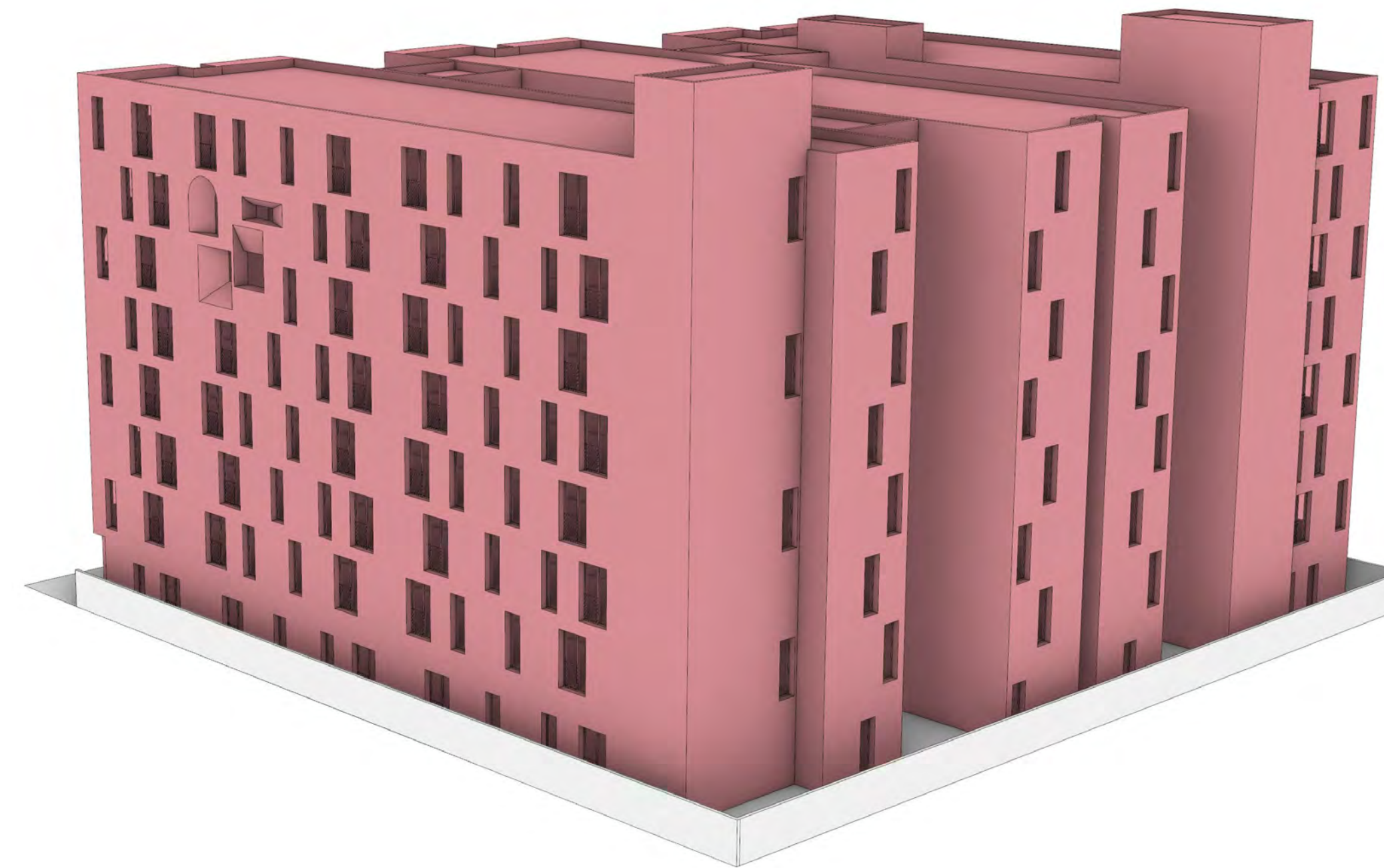
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02 PERSPECTIVE 2
SCALE 1/8" = 1'-0"

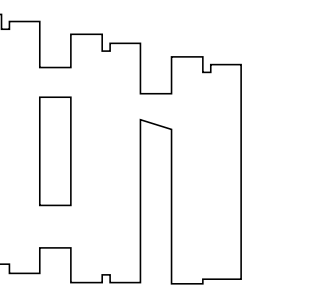


01 PERSPECTIVE 1
SCALE 1/8" = 1'-0"

03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

06 / REVISIONS

NO.	DATE	DESCRIPTION
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07 / SHEET TITLE

3D
PERSPECTIVE
VIEWS

08 / SHEET NUMBER

A011

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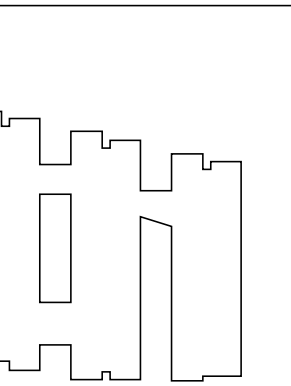
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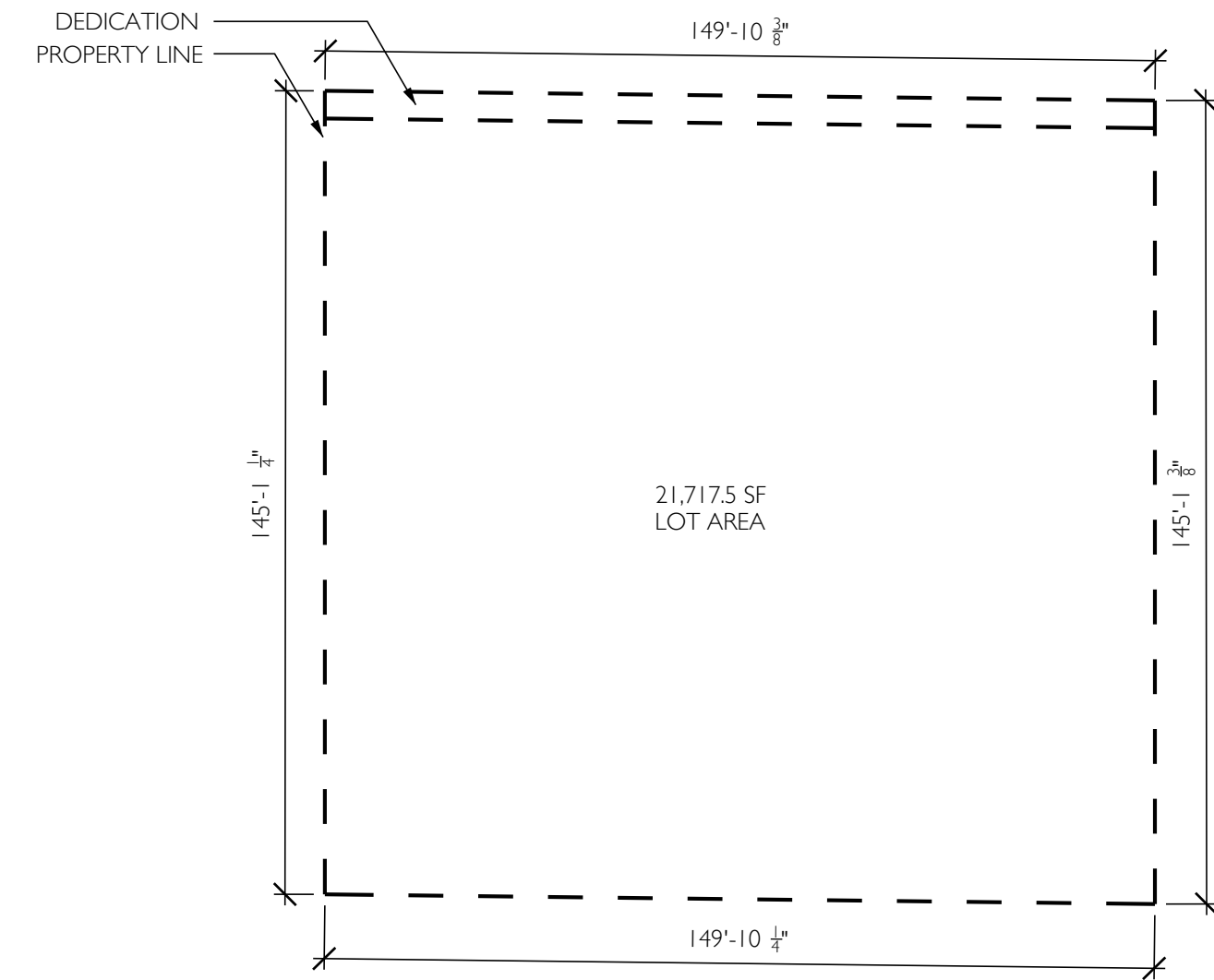


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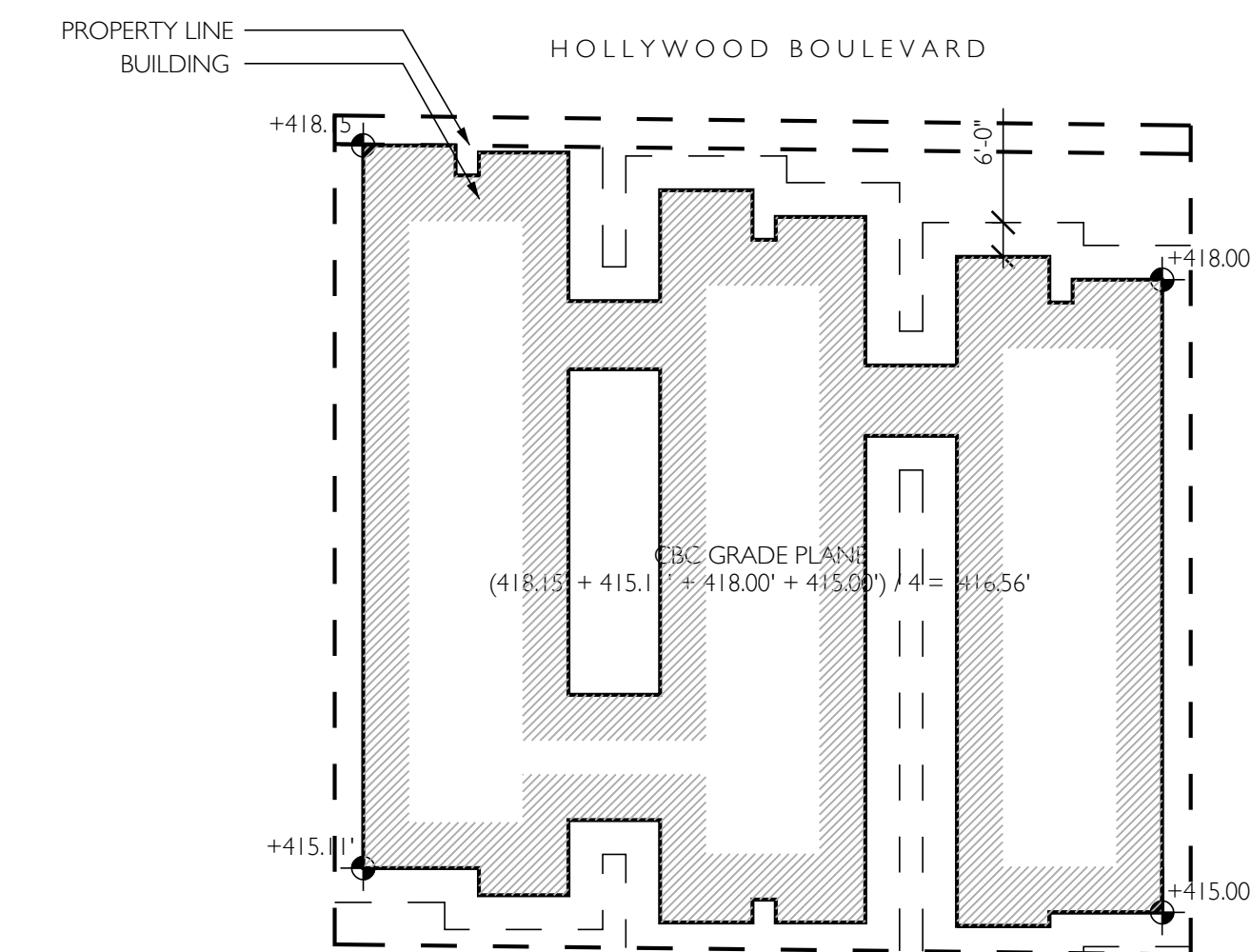
NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

SITE
 DIAGRAMS

A021

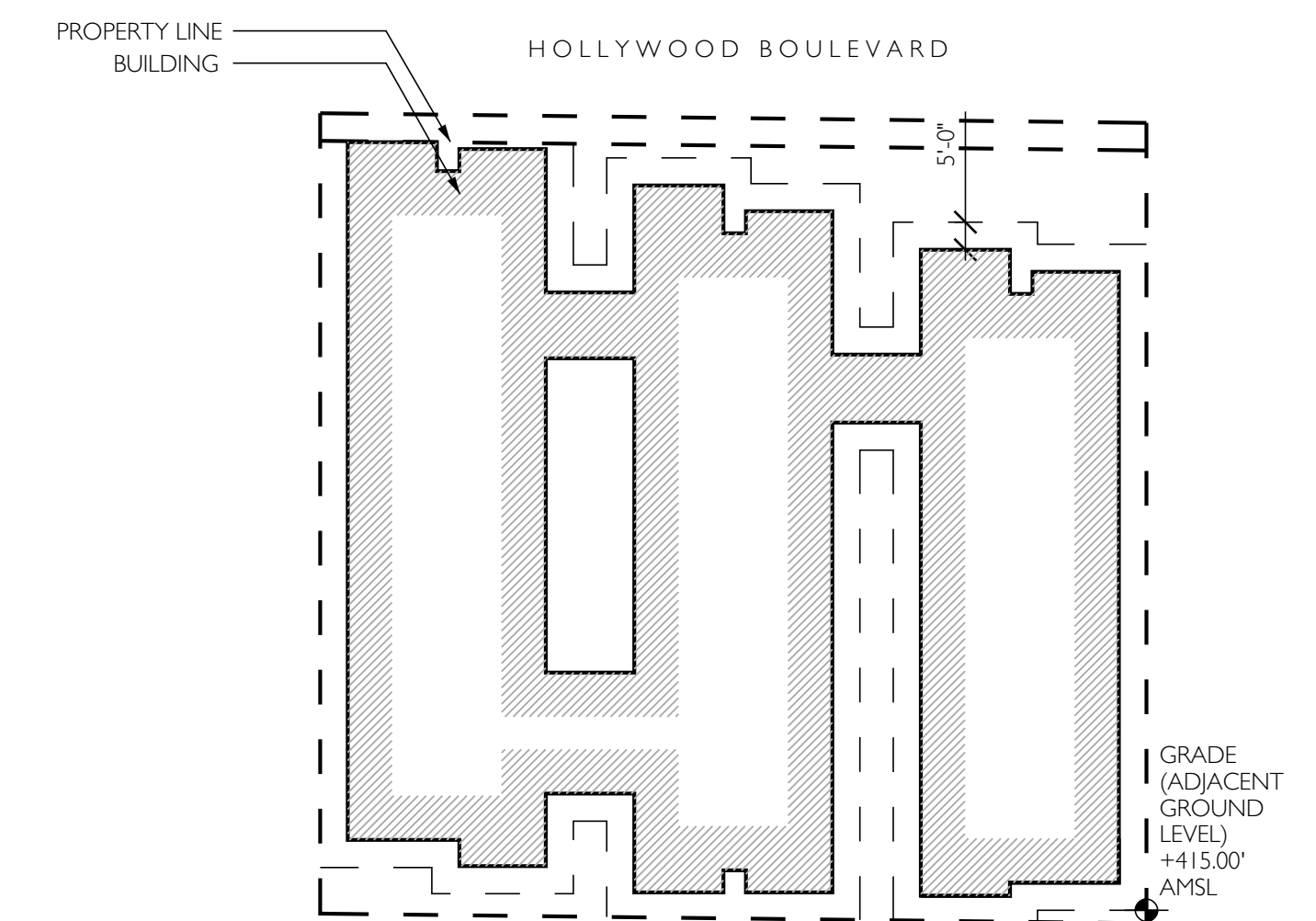


03 LOT AREA
 SCALE 1/32" = 1'-0"



GRADE PLANE / CBC 202
 A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT THE EXTERIOR WALLS. WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINT WITHIN THE AREA BETWEEN THE BUILDING AND THE LOT LINE OR, WHERE THE LOT LINE IS MORE THAN 6 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING.

02 GRADE PLANE
 SCALE 1/32" = 1'-0"



GRADE (ADJACENT GROUND LEVEL) / LAMC 12.03
 IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND, PAVING, OR SIDEWALK WITHIN THE AREA BETWEEN THE BUILDING AND THE PROPERTY LINE, OR WHEN THE PROPERTY LINE IS MORE THAN 5 FEET FROM THE BUILDING, BETWEEN THE BUILDING AND A LINE 5 FEET FROM THE BUILDING. THIS DEFINITION DOES NOT APPLY TO ANY BUILDING OR STRUCTURE LOCATED WITHIN THE BOUNDARIES OF THE CENTURY CITY NORTH OR CENTURY CITY SOUTH SPECIFIC PLANS AND WHICH IS SUBJECT TO LAMC SECTION 12.21.2.

01 GRADE (ADJACENT GROUND LEVEL)
 SCALE 1/32" = 1'-0"

AREA, BUILDING / CBC 202
THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS (OR EXTERIOR WALLS AND FIRE WALLS) EXCLUSIVE OF VENT SHAFTS AND COURTS. AREAS OF THE BUILDING NOT PROVIDED WITH SURROUNDING WALLS SHALL BE INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.

07 BUILDING AREA DEFINITION
N.T.S.

TABLE 504.3^{a,1}
ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	SEE FOOTNOTES	TYPE OF CONSTRUCTION									
		TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V		
		A	B	A	B	A	B		A	B	
R-2 ^h	NS ^g	UL	160	65	55	65	55	65	50	40	
	S13R	UL	60	60	60	55	60	55	60	40	
	S (without area increase)	UL	180	85	75	85	75	85	70	60	
	S (with area increase)	UL	160	65	55	65	55	65	60	40	

NFPA 13 FIRE SPRINKLERS PER 903.3.1.1

TABLE 504.4^{a,b,h} - CONTINUED
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	SEE FOOTNOTES	TYPE OF CONSTRUCTION									
		TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V		
		A	B	A	B	A	B		A	B	
R-2 ^h	NS ^g	UL	11	4	4	4	4	4	3	2	
	S13R	UL	4	4	4	4	4	4	2	2	
	S (without area increase)	UL	12	5	5	5	5	5	4	3	
	S (with area increase)	UL	11	4	4	4	4	4	4	2	

NFPA 13 FIRE SPRINKLERS PER 903.3.1.1

06 CBC BUILDING HEIGHT & STORIES
SCALE 1/32" = 1'-0"

TABLE 506.2
ALLOWABLE AREA FACTOR (A_f = NS, S1, S13R, S13D or SM as applicable) IN SQUARE FEET^{a,b,1}

OCCUPANCY CLASSIFICATION	SEE FOOTNOTES	TYPE OF CONSTRUCTION									
		TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V		
		A	B	A	B	A	B		A	B	
R-2	NS ^g	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000	
	S13R	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000	
	S1	UL	UL	96,000	64,000	96,000	64,000	82,000	48,000	28,000	
	S (without height increase)	UL	UL	72,000	48,000	72,000	48,000	61,500	36,000	21,000	
	S (with height increase)	UL	UL	24,000	16,000	24,000	16,000	20,500	12,000	7,000	

HEIGHT INCREASE
TYPE IIIA CONSTRUCTION / R-2 OCCUPANCY
NFPA 13 FIRE SPRINKLERS PER 903.3.1.1

506.3.3 FRONTAGE INCREASE
THE AREA FACTOR INCREASE BASED ON FRONTAGE SHALL BE DETERMINED IN ACCORDANCE WITH EQUATION 5-5:

$$If = (F/P - 0.25)W/30, \text{ WHERE:}$$

If = AREA FACTOR INCREASE DUE TO FRONTAGE
F = BUILDING PERIMETER IN FEET THAT FRONTS ON A PUBLIC WAY OR OPEN SPACE A WIDTH OF 20' OR MORE (25% MIN)
P = PERIMETER OF ENTIRE BUILDING IN FEET
W = AVG. WIDTH OF PUBLIC WAY OR OPEN SPACE IN FEET PER SECTION 506.3.2 (30' MAX)

506.2.3 SINGLE OCCUPANCY, MULTISTORY BUILDINGS
ALLOWABLE AREA OF A SINGLE OCCUPANCY BUILDING WITH MORE THAN ONE STORY ABOVE GRADE PLANE SHALL BE DETERMINED IN ACCORDANCE WITH EQUATION 5-2:

$$A_a = [A_t + (NS \times If)] \times S_a, \text{ WHERE:}$$

A₀ = ALLOWABLE AREA (SQUARE FEET)
A_t = TABULAR ALLOWABLE AREA FACTOR (NS, S1, S13R, S13D OR SM VALUE AS APPLICABLE) PER TABLE 506.2
NS = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR A NON-SPRINKLERED BUILDING (REGARDLESS WHETHER THE BUILDING IS SPRINKLERED)
If = AREA FACTOR INCREASE DUE TO FRONTAGE (PERCENT) PER SECTION 506.3
S_a = FOR OTHER THAN GROUP A, E, H, I, L AND R OCCUPANCIES, HIGH-RISE BUILDINGS, AND OTHER APPLICATIONS LISTED IN SECTION 1.11 REGULATED BY THE OFFICE OF THE STATE FIRE MARSHAL, ACTUAL NUMBER OF BUILDING STORIES ABOVE GRADE PLANE, NOT TO EXCEED THREE. FOR GROUP A, E, H, I, L AND R OCCUPANCIES, HIGH-RISE BUILDINGS, AND OTHER APPLICATIONS LISTED IN SECTION 1.11 REGULATED BY THE OFFICE OF THE STATE FIRE MARSHAL, ACTUAL NUMBER OF BUILDING STORIES ABOVE GRADE PLANE, NOT TO EXCEED TWO
*NO INDIVIDUAL STORY SHALL EXCEED THE ALLOWABLE AREA (A₀) AS DETERMINED BY EQUATION 5-2 USING THE VALUE OF S_a = 1

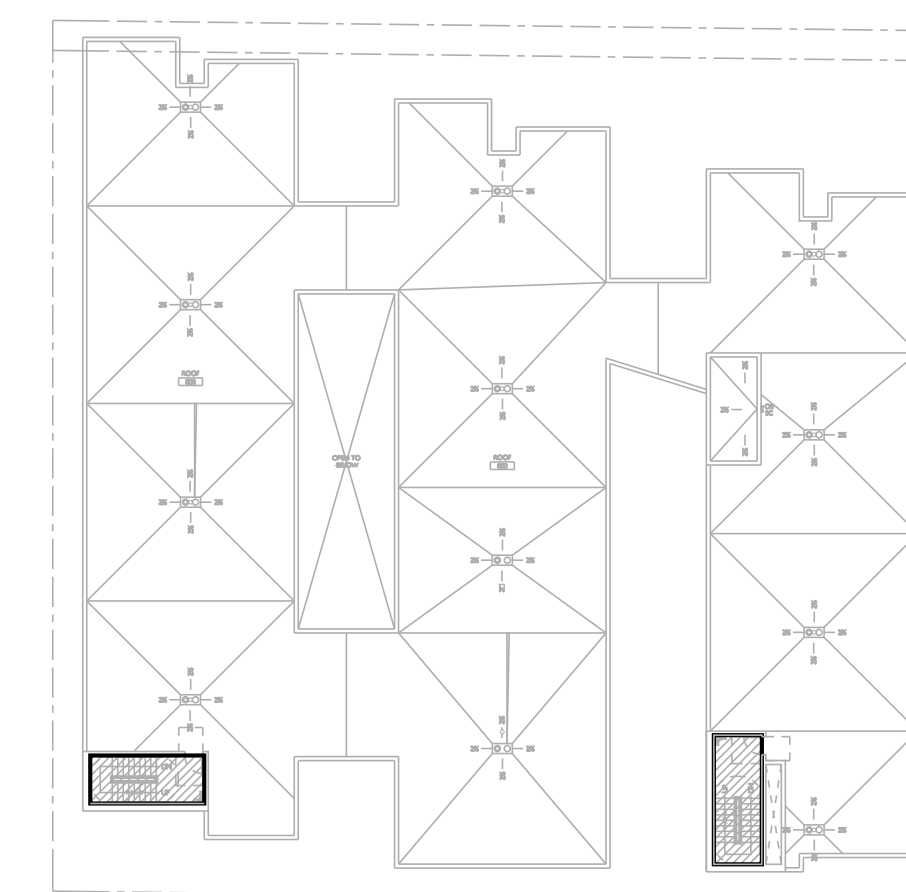
ALLOWABLE AREA, BUILDING A
 $(F/P - 0.25)W/30 = If$
 $(1/2 - 0.25)(04/30) = 875$
 $[A_t + (NS \times If)] \times S_a = A_a$
 $[24,000 SF + (24,000 SF \times 875)] \times 2 = 90,000 SF$

ALLOWABLE AREA, BUILDING B
 $[A_t + (NS \times If)] \times S_a = A_a$
 $[24,000 SF + (24,000 SF \times 0)] \times 2 = 48,000 SF$

ALLOWABLE AREA

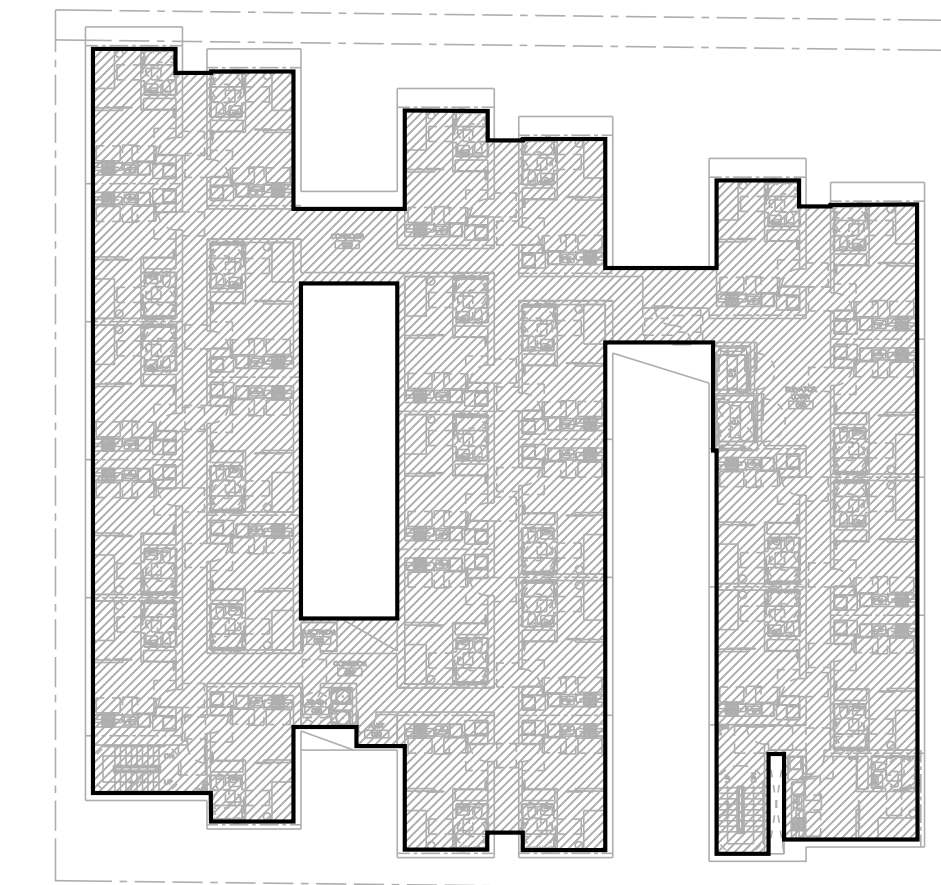
LEVEL	TYPE	SF ALLOWED	SF PROVIDED	SF ALLOWED	SF PROVIDED
BASEMENT	TYPE IA	UL	21,167		
LEVEL 1	TYPE IA	UL	20,145		
LEVEL 2	TYPE IA	UL	20,994		
LEVEL 3	TYPE IA	UL	21,361		
		BUILDING A		BUILDING B	
LEVEL 4	TYPE IIIA	45,000*	15,440	24,000*	6,492
LEVEL 5	TYPE IIIA		15,440		6,492
LEVEL 6	TYPE IIIA		15,440		6,492
LEVEL 7	TYPE IIIA		15,440		6,492
LEVEL 8	TYPE IIIA		15,440		6,492
TOTAL TYPE IIIA		90,000	77,200	48,000	32,460
TOTAL					193,327

05 BUILDING AREA CALCULATIONS
SCALE 1/32" = 1'-0"



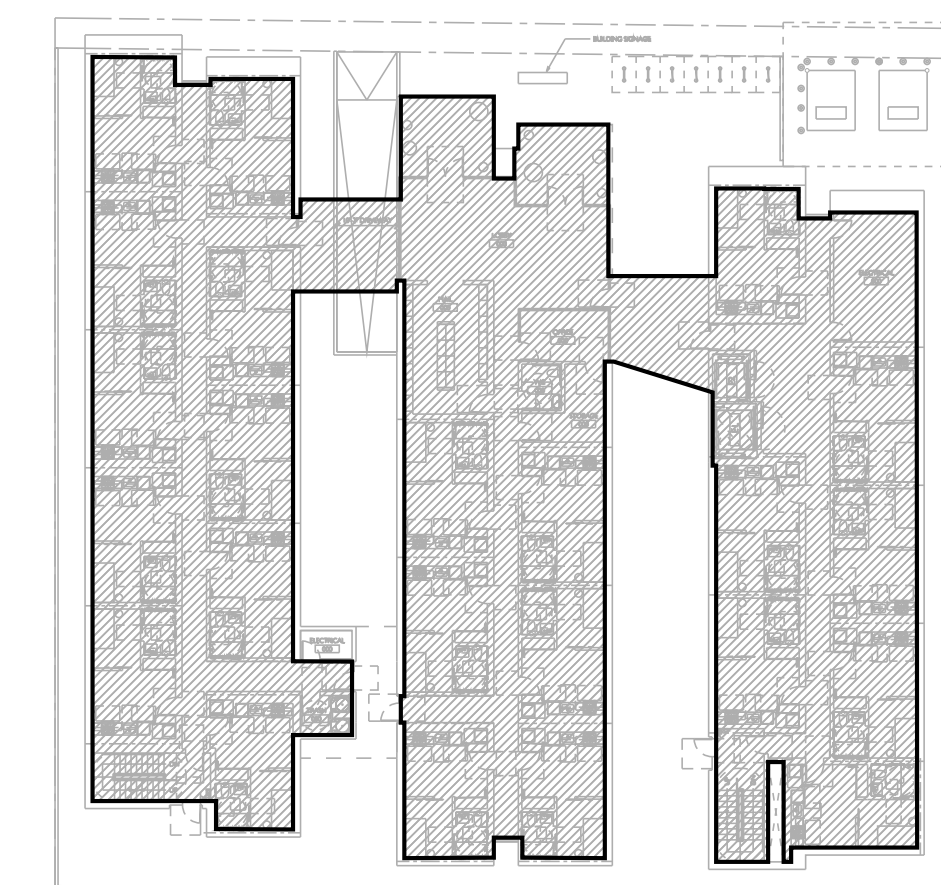
324 SF BUILDING AREA

04 BUILDING AREA / ROOF
SCALE 1/32" = 1'-0"



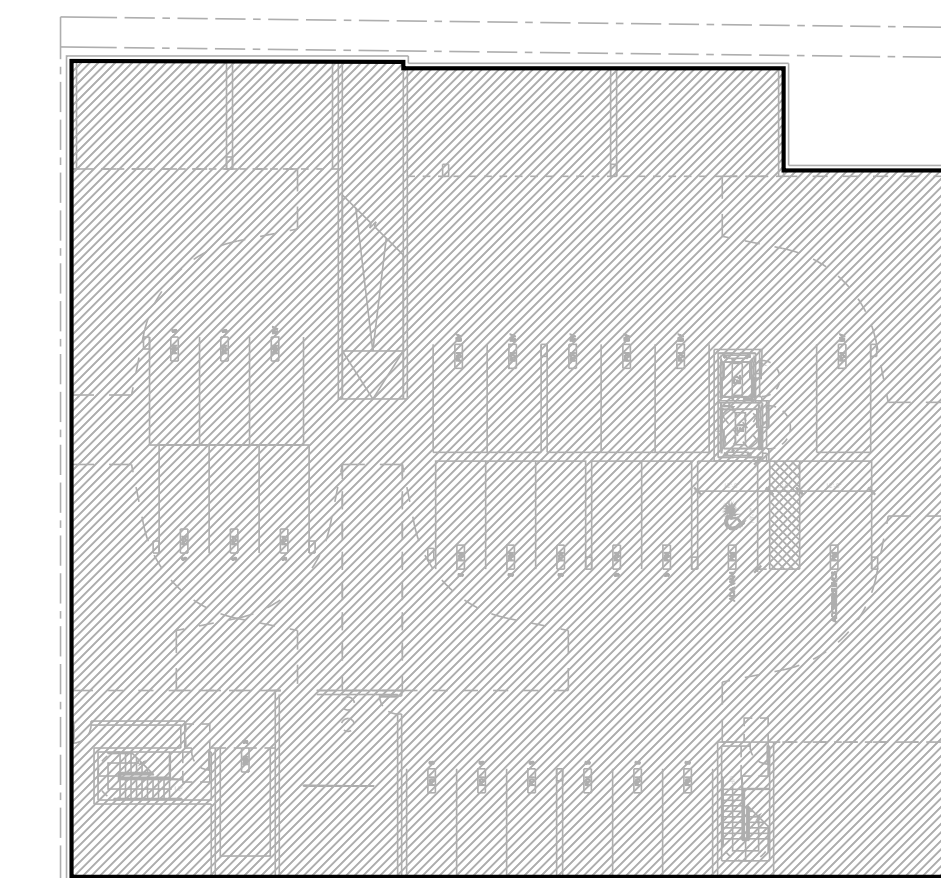
12,688 SF BUILDING AREA

03 BUILDING AREA / LEVEL 2-8
SCALE 1/32" = 1'-0"



12,549 SF BUILDING AREA

02 BUILDING AREA / LEVEL 1
SCALE 1/32" = 1'-0"



19,284 SF BUILDING AREA

01 BUILDING AREA / BASEMENT
SCALE 1/32" = 1'-0"

02 / CLIENT & TEAM

CLIENT /
HFN CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

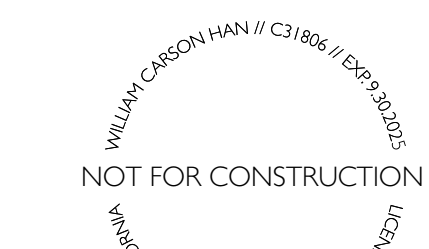
LAND USE CONSULTANT /
LABB FLUNK + ASSOCIATES
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
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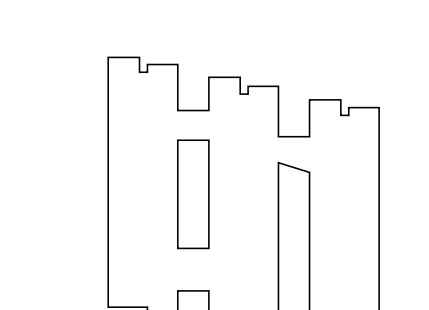
SHORING /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000

03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

06 / REVISIONS

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

07 / SHEET TITLE

BUILDING AREA DIAGRAMS

08 / SHEET NUMBER

A022

02 / CLIENT & TEAM

CLIENT /
 HFN CORP
 9777 WELSHIRE BOULEVARD
 BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
 LABBE FLUNK + ASSOCIATES
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 T 213 239 9700

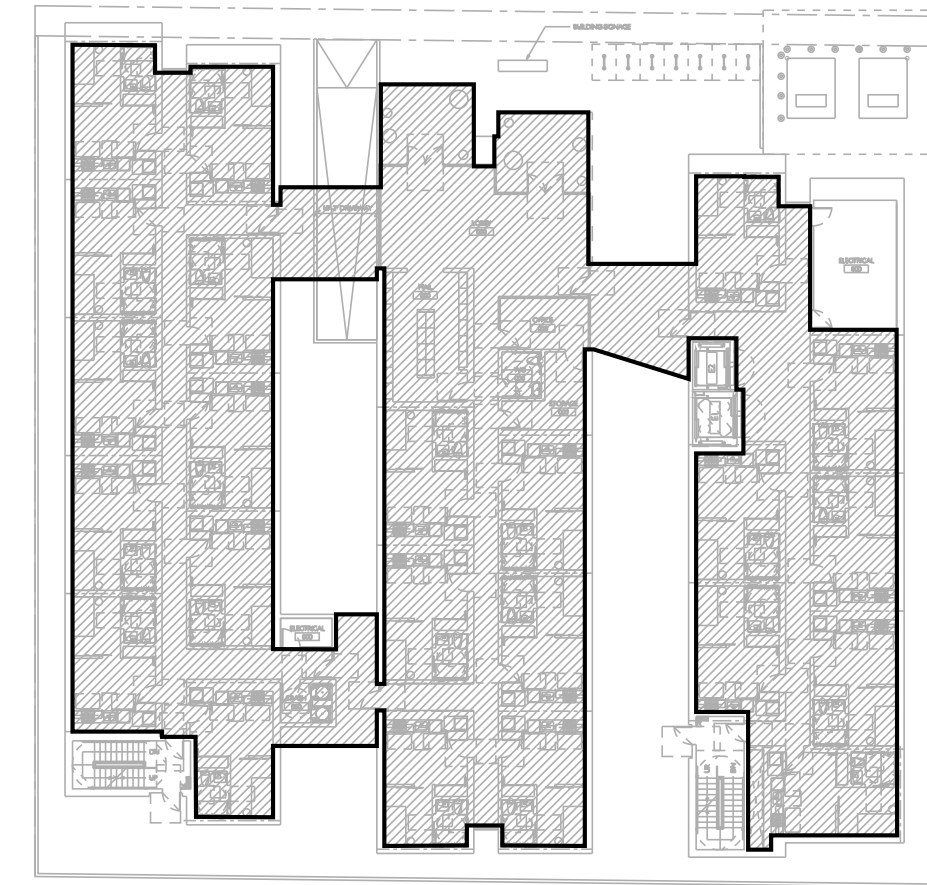
LANDSCAPE ARCHITECT /
 64NORTH
 719 N. FARFAX AVENUE, SUITE C
 LOS ANGELES, CA 90046
 T 310 919 0919

LAND USE CONSULTANT /
 BEROUKIM & COMPANY
 1025 VENTURA BOULEVARD, NO. 425
 ENCINO, CA 91436
 T 310 435 4594

STRUCTURAL ENGINEER /
 LABBE FLUNK + ASSOCIATES
 319 MAIN STREET
 EL SEGUNDO, CA 90245
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SHORING /
 LABBE FLUNK + ASSOCIATES
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 T 213 239 9700

SURVEYOR /
 ASI CONSULTANTS
 2500 CAMINO DIABLO
 WALNUT CREEK, CA 94597
 T 925 746 6000



11,930 SF FAR

03 FAR / LEVEL 1
 SCALE 1/32" = 1'-0"

FLOOR AREA / LAMC 12.03
 THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING:
 EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS, AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

06 FAR DEFINITION
 SCALE 1/32" = 1'-0"

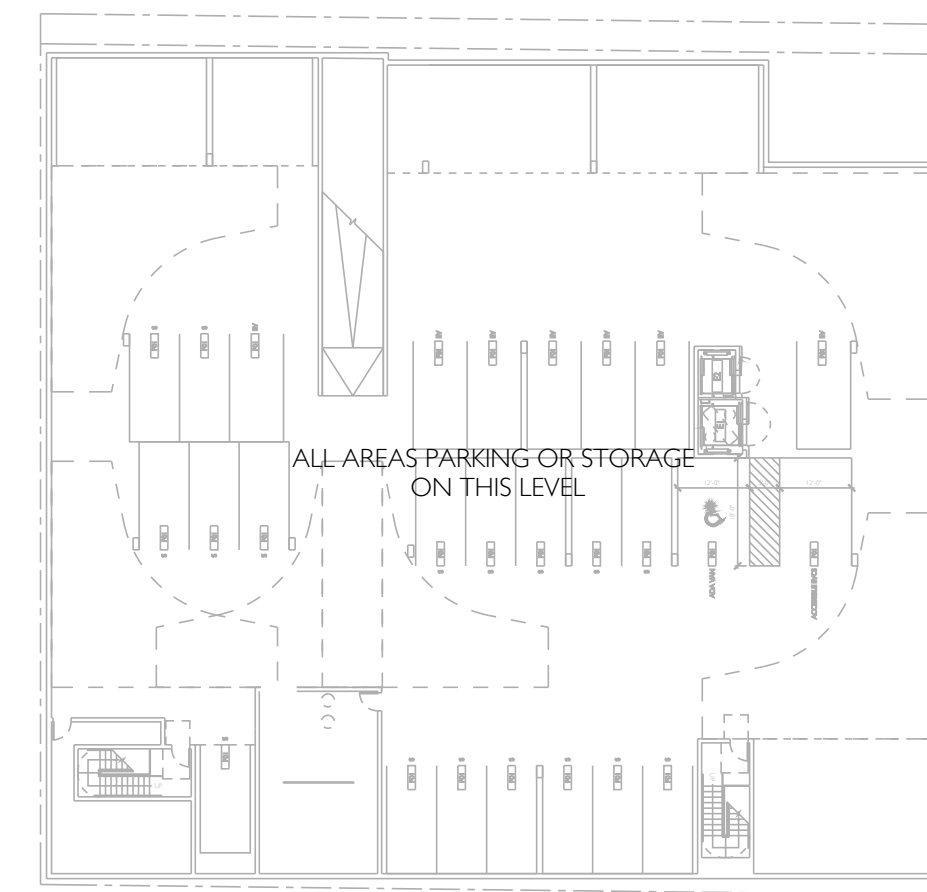
FAR / FLOOR AREA RATIO

Allowed	
Buildable Area	15,399 SF
Floor Area	46,197 SF
Floor Area Ratio	3 :1

Allowed Per AB1763 Waivers	
Ratio	6.29 :1
Total SF	96,797 SF

Proposed	
Basement	0 SF
L1	11,586 SF
L2	12,173 SF
L3	12,173 SF
L4	12,173 SF
L5	12,173 SF
L6	12,173 SF
L7	12,173 SF
L8	12,173 SF
Total	96,797 SF
Floor Area Ratio	6.29 :1

05 FAR CALCULATION
 SCALE 1/32" = 1'-0"



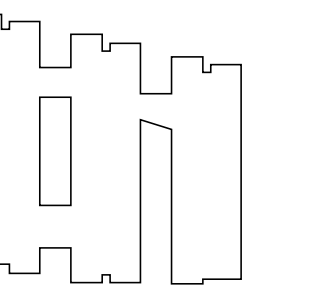
0 SF FAR

02 FAR / BASEMENT
 SCALE 1/32" = 1'-0"

03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

7762-7770 WEST
 HOLLYWOOD BOULEVARD
 LOS ANGELES, CA 90046

06 / REVISIONS

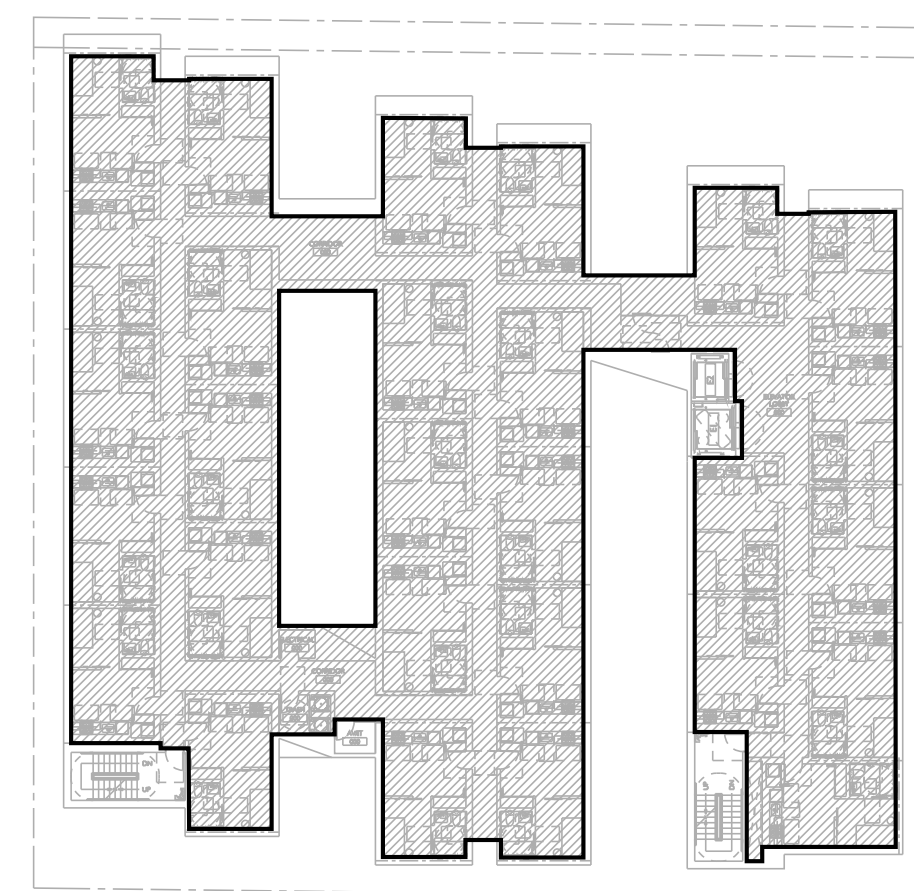
NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

07 / SHEET TITLE

FAR
 DIAGRAMS

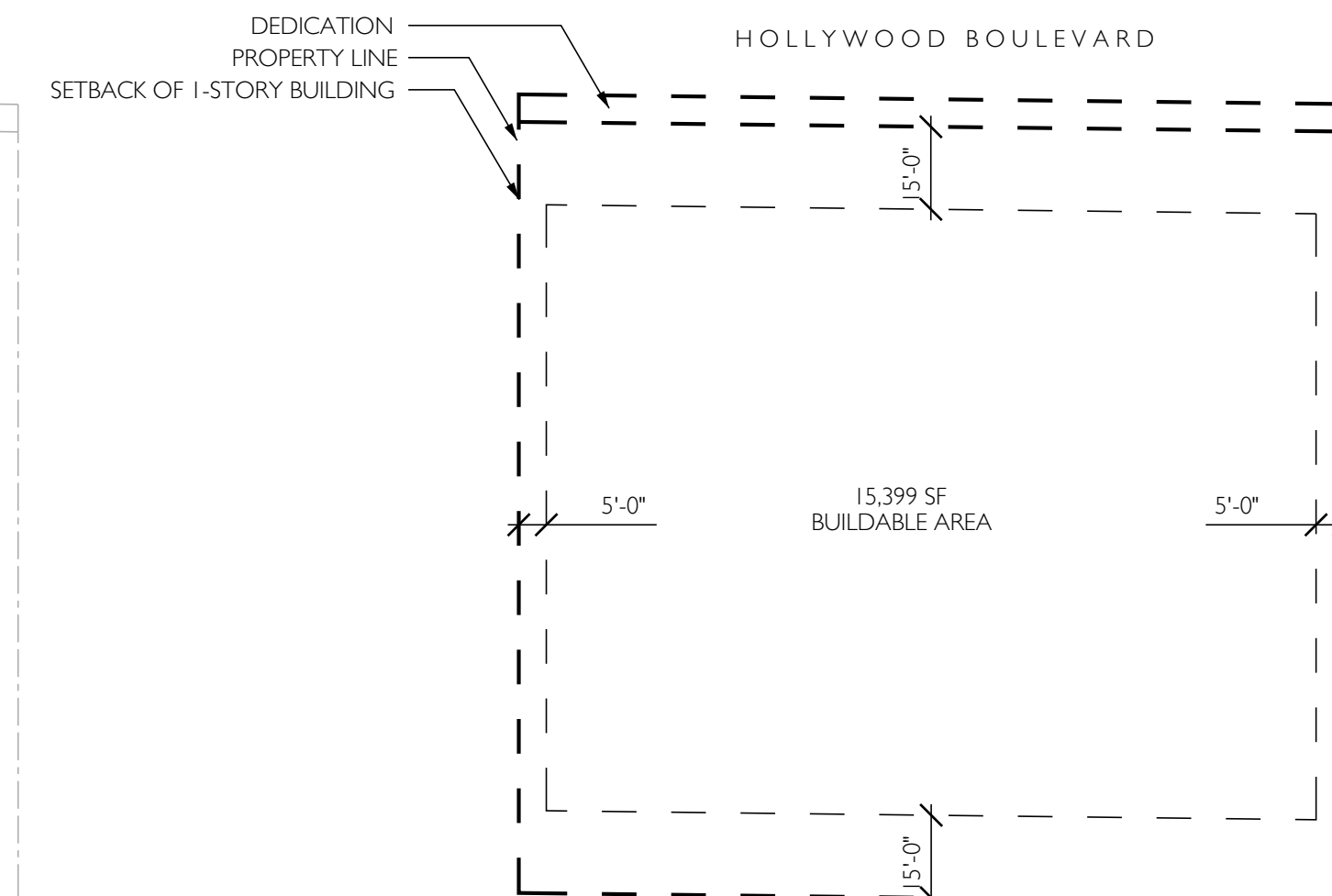
08 / SHEET NUMBER

A023

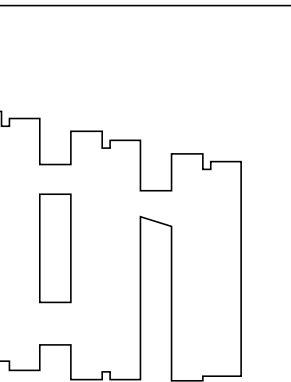
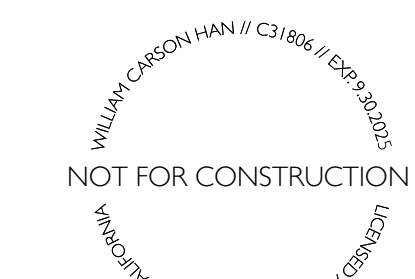


12,173 SF FAR

04 FAR / LEVELS 2-8
 SCALE 1/32" = 1'-0"



01 BUILDABLE AREA
 SCALE 1/32" = 1'-0"



NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

OPEN SPACE

Required			
Unit Type	Units	SF Per	Total Req.
Less Than 3 Hab. Rooms (Studio & 1-Beds)	213	100	21,300 SF
3-Habitable Rooms (2-Beds)	0	125	0 SF
More Than 3 Hab. Rooms (3+ Bedrooms)	0	175	- SF
Subtotal	213		21,300 SF
20% Reduction Per Open Space			
Total Required			21,300 SF

Per AB2334 Waiver

Required	2,035 SF
----------	----------

Provided

Interior Common Spaces	
Maximum (25% of Total)	0 SF
None Provided	0 SF
Total	0 SF

Exterior Common Spaces

Ground Floor	2,035 SF
Rooftop	0 SF
Total	2,035 SF
Planted (25% of Exterior)	509 SF

Private Common Spaces

Private Common Spaces	0 SF
Total	0 SF

Total Provided	2,035 SF
-----------------------	-----------------

TREES

Required	
1 Tree Per 4 Units	53

Per AB2334 Waiver

Required	0
----------	---

Provided

Trees on Site	0
---------------	---

08 OPEN SPACE CALCULATION

N.T.S.

OPEN SPACE REQUIREMENT FOR MORE THAN SIX RESIDENTIAL UNITS / LAMC 12.21.G
NEW CONSTRUCTION (RESULTING IN ADDITIONAL FLOOR AREA AND ADDITIONAL UNITS) OF A BUILDING OR GROUP OF BUILDINGS CONTAINING SIX OR MORE DWELLING UNITS ON A LOT SHALL PROVIDE AT A MINIMUM THE FOLLOWING USABLE OPEN SPACE PER DWELLING UNIT: 100 SQUARE FEET FOR EACH UNIT HAVING LESS THAN THREE HABITABLE ROOMS; 125 SQUARE FEET FOR EACH UNIT HAVING THREE HABITABLE ROOMS; AND 175 SQUARE FEET FOR EACH UNIT HAVING MORE THAN THREE HABITABLE ROOMS.

FOR PURPOSES OF THIS SUBSECTION, USABLE OPEN SPACE SHALL MEAN AN AREA WHICH IS DESIGNED AND INTENDED TO BE USED FOR ACTIVE OR PASSIVE RECREATION. USABLE OPEN SPACE MAY CONSIST OF PRIVATE AND/OR COMMON AREA AS FURTHER DEFINED AND REGULATED HEREIN. PARKING AREAS INCLUDING ACCESS AISLES, DRIVEWAYS, AND REQUIRED FRONT AND SIDE YARDS, OPEN SPACE AREAS LOCATED ABOVE THE FIRST HABITABLE ROOM LEVEL, EXCEPT AS OTHERWISE PROVIDED FOR HEREIN, SHALL NOT QUALIFY AS USABLE OPEN SPACE.

(A) COMMON OPEN SPACE:

(1) COMMON OPEN SPACE SHALL MEET EACH OF THE FOLLOWING REQUIREMENTS:

(i) BE OPEN TO THE SKY AND HAVE NO STRUCTURES THAT PROJECT INTO THE COMMON OPEN SPACE AREA, EXCEPT AS PROVIDED IN SECTION 12.22 C.20(B);

(ii) BE READILY ACCESSIBLE TO ALL THE RESIDENTS OF THE SITE;

(iii) HAVE A MINIMUM AREA OF 400 SQ. FT. WITH NO HORIZONTAL DIMENSION LESS THAN 15 FEET WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES OF THE OPEN SPACE AREA;

(iv) CONSTITUTE AT LEAST 50% OF THE TOTAL REQUIRED USABLE OPEN SPACE IN DEVELOPMENTS BUILT AT AN R3, RAS3, R4, RAS4, AND/OR RS DENSITY REGARDLESS OF THE UNDERLYING ZONE. (AMENDED BY ORD. NO. 174999, EFF. 1/15/03);

(v) BE LOCATED AT THE GRADE LEVEL OR FIRST HABITABLE ROOM LEVEL, EXCEPT IN DEVELOPMENTS BUILT AT AN R3, RAS3, R4, RAS4, AND/OR RS DENSITY REGARDLESS OF THE UNDERLYING ZONE. (AMENDED BY ORD. NO. 174999, EFF. 1/15/03);

(2) COMMON OPEN SPACE AREAS SHALL INCORPORATE RECREATIONAL AMENITIES SUCH AS SWIMMING POOLS, SPAS, PICNIC TABLES, BENCHES, CHILDREN'S PLAY AREAS, BALL COURTS, BARBECUE AREAS AND SITTING AREAS. (AMENDED BY ORD. NO. 184505, EFF. 1/11/17);

(3) A MINIMUM OF 25 PERCENT OF THE COMMON OPEN SPACE AREA SHALL BE PLANTED WITH GROUND COVER, SHRUBS OR TREES. AT LEAST ONE 24-INCH BOX TREE FOR EVERY FOUR DWELLING UNITS SHALL BE PROVIDED ON SITE AND MAY INCLUDE STREET TREES IN THE PARKWAY. FOR A SURFACE AREA NOT LOCATED DIRECTLY ON FINISHED GRADE THAT IS USED FOR COMMON OPEN SPACE, AND LOCATED AT GROUND LEVEL OR THE FIRST HABITABLE ROOM LEVEL, SHRUBS AND/OR TREES SHALL BE CONTAINED WITHIN PERMANENT PLANTERS AT LEAST 30-INCHES IN DEPTH, AND LAWN OR GROUND COVER SHALL BE AT LEAST 12-INCHES IN DEPTH. ALL REQUIRED LANDSCAPED AREAS SHALL BE EQUIPPED WITH AN AUTOMATIC IRRIGATION SYSTEM AND BE PROPERLY DRAINED.

THE DIRECTOR OF PLANNING OR THE DIRECTOR'S DESIGNEE SHALL HAVE THE AUTHORITY TO REVIEW AND APPROVE OR DISAPPROVE ALL PROPOSED LANDSCAPE PLANS SUBMITTED IN COMPLIANCE WITH THIS PARAGRAPH.

(4) NOTWITHSTANDING THE PROVISIONS SET FORTH IN THIS PARAGRAPH:

(i) RECREATION ROOMS AT LEAST 600 SQUARE FEET IN AREA FOR A DEVELOPMENT OF 16 OR MORE DWELLING UNITS, OR AT LEAST 400 SQUARE FEET IN AREA FOR A DEVELOPMENT OF FEWER THAN 16 DWELLING UNITS, MAY QUALIFY AS COMMON OPEN SPACE, BUT SHALL NOT QUALIFY FOR MORE THAN 25 PERCENT OF THE TOTAL REQUIRED USABLE OPEN SPACE;

(ii) ROOF DECKS IN DEVELOPMENTS BUILT AT AN R3 OR AN RAS3 DENSITY, REGARDLESS OF THE UNDERLYING ZONE, MAY BE USED AS COMMON OPEN SPACE, EXCLUDING THAT PORTION OF THE ROOF WITHIN TEN FEET FROM THE PARAPET WALL. (AMENDED BY ORD. NO. 174999, EFF. 1/15/03);

(iii) ROOF DECKS IN DEVELOPMENTS BUILT AT AN R4, RAS4, AND/OR RS DENSITY, REGARDLESS OF THE UNDERLYING ZONE, MAY BE USED IN THEIR ENTIRETY AS COMMON OPEN SPACE. (AMENDED BY ORD. NO. 174999, EFF. 1/15/03);

(B) PRIVATE OPEN SPACE. PRIVATE OPEN SPACE IS AN OPEN SPACE AREA WHICH IS CONTIGUOUS TO AND IMMEDIATELY ACCESSIBLE FROM A SINGLE DWELLING UNIT AND WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS OF THE ZONES HEREIN SPECIFIED:

(1) IN THE R0 1.5 AND MORE RESTRICTIVE ZONES:

(i) PRIVATE OPEN SPACE SHALL BE LOCATED AT GRADE LEVEL OR THE FIRST HABITABLE ROOM LEVEL AND BE OPEN TO THE SKY. STRUCTURES MAY PROJECT NO MORE THAN THREE FEET INTO THE PRIVATE OPEN SPACE AREA PROVIDED THERE IS A MINIMUM EIGHT FOOT VERTICAL CLEARANCE UNDER THE PROJECTION, EXCEPT AS PROVIDED IN SECTION 12.22 C.20(B);

(ii) PRIVATE OPEN SPACE SHALL BE ENCLOSED BY A SOLID FENCE AT LEAST FOUR FEET IN HEIGHT; AND

(iii) THE PRIVATE OPEN SPACE AREA SHALL HAVE NO HORIZONTAL DIMENSION LESS THAN EIGHT FEET, WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES OF THE OPEN SPACE AREA AND CONTAIN A MINIMUM OF 100 SQUARE FEET OF WHICH NO MORE THAN 100 SQUARE FEET PER DWELLING UNIT SHALL BE ATTRIBUTABLE TO THE TOTAL REQUIRED OPEN SPACE.

(2) (AMENDED BY ORD. NO. 174999, EFF. 1/15/03); IN DEVELOPMENTS BUILT AT AN R3, RAS3, R4, RAS4, AND/OR RS DENSITY REGARDLESS OF THE UNDERLYING ZONE, PRIVATE OPEN SPACE MAY BE PROVIDED ABOVE THE FIRST HABITABLE ROOM LEVEL, WHEN SO PROVIDED, IT SHALL:

(i) CONTAIN A MINIMUM OF 50 SQUARE FEET OF WHICH NO MORE THAN 50 SQUARE FEET PER DWELLING UNIT SHALL BE ATTRIBUTABLE TO THE TOTAL REQUIRED USABLE OPEN SPACE;

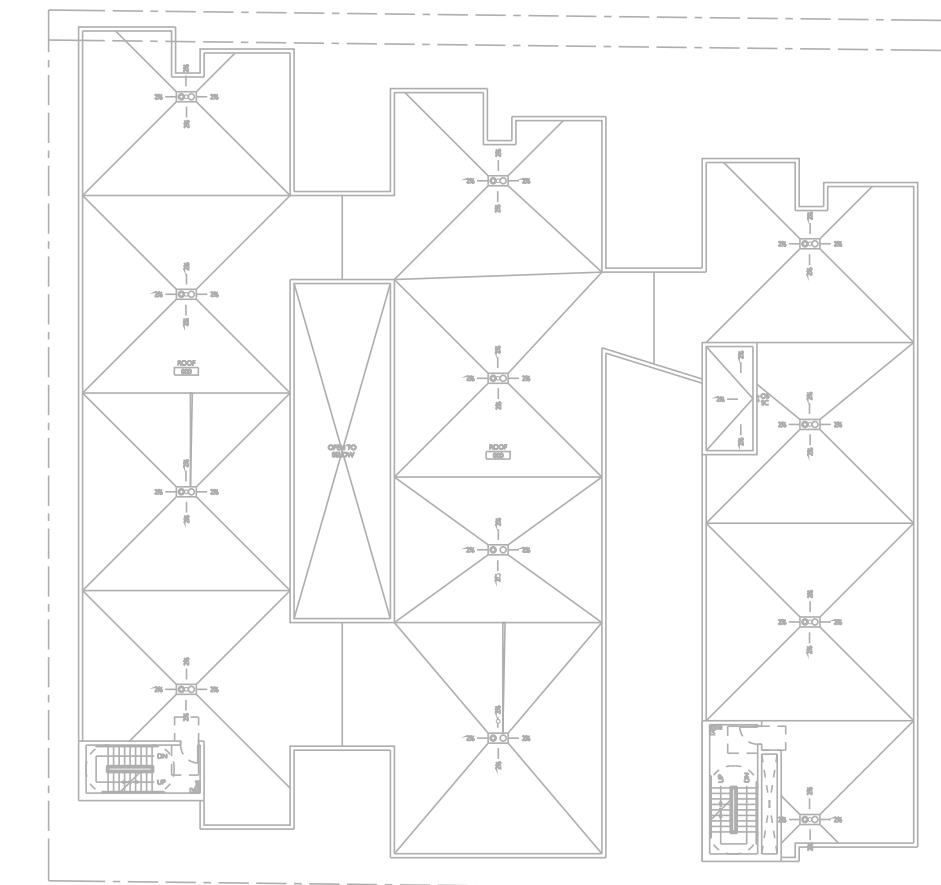
(ii) HAVE NO HORIZONTAL DIMENSION LESS THAN SIX FEET WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES OF THE OPEN SPACE AREA; AND

(iii) PROVIDE A MINIMUM EIGHT FOOT VERTICAL CLEARANCE UNDER ANY PROJECTION, EXCEPT AS PROVIDED IN SECTION 12.22 C.20(B); AND

(iv) THAT PORTION OF A BALCONY WHICH EXTENDS OR PROJECTS INTO A REQUIRED FRONT YARD IN COMPLIANCE WITH SECTION 12.22 C.20(D) MAY QUALIFY AS USABLE OPEN SPACE PROVIDED IT MEETS EACH OF THE ABOVE-SPECIFIED REQUIREMENTS SET FORTH IN THIS SUBPARAGRAPH.

09 OPEN SPACE DEFINITION

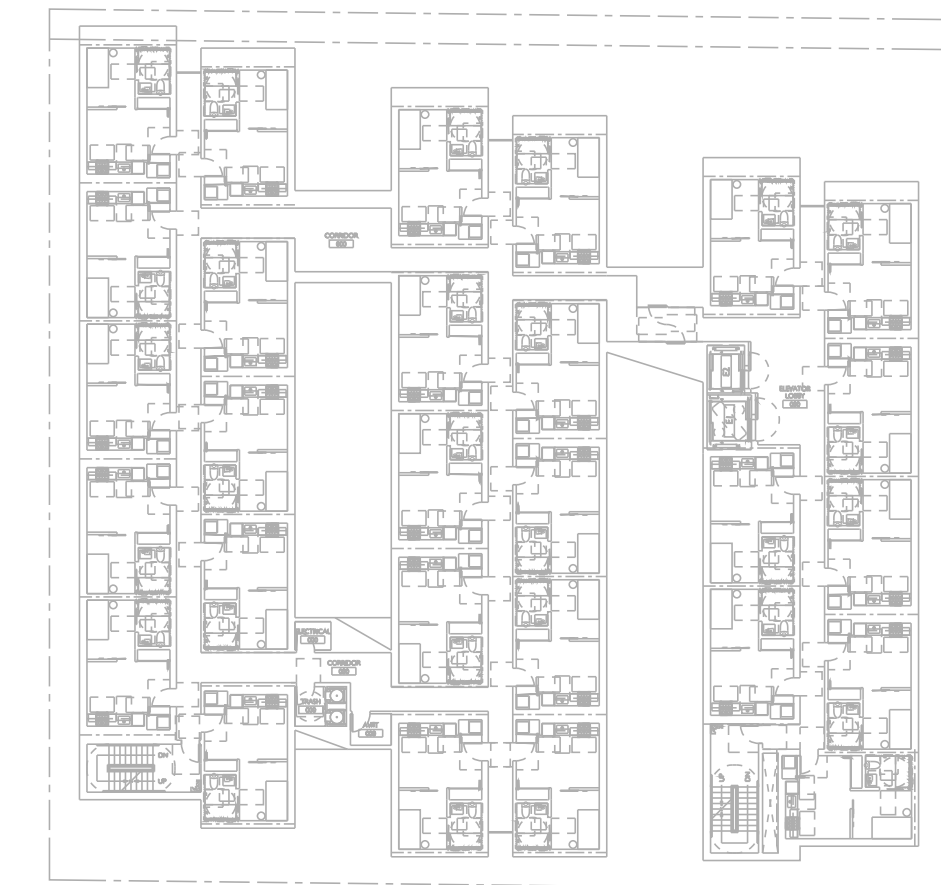
N.T.S.



0 SF EXTERIOR COMMON OPEN SPACE

03 OPEN SPACE LANDSCAPE / LEVEL 1

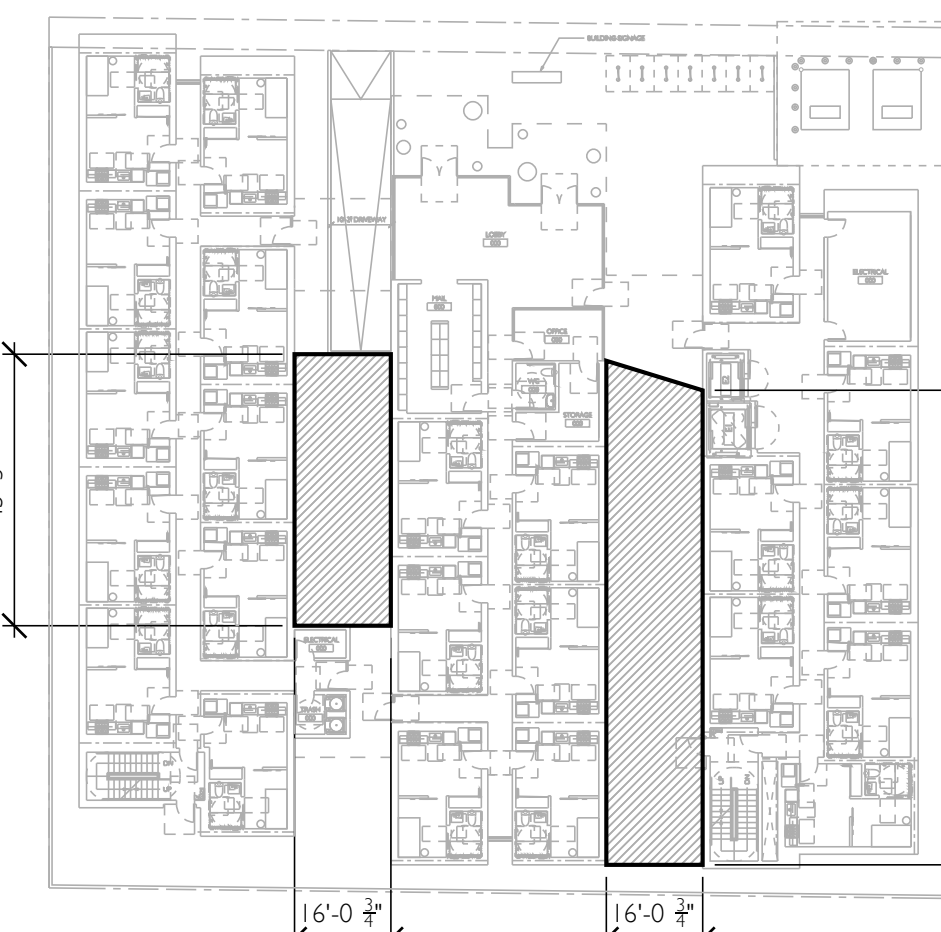
SCALE 1/32" = 1'-0"



0 SF INTERIOR COMMON OPEN SPACE

02 OPEN SPACE / LEVEL 2-5

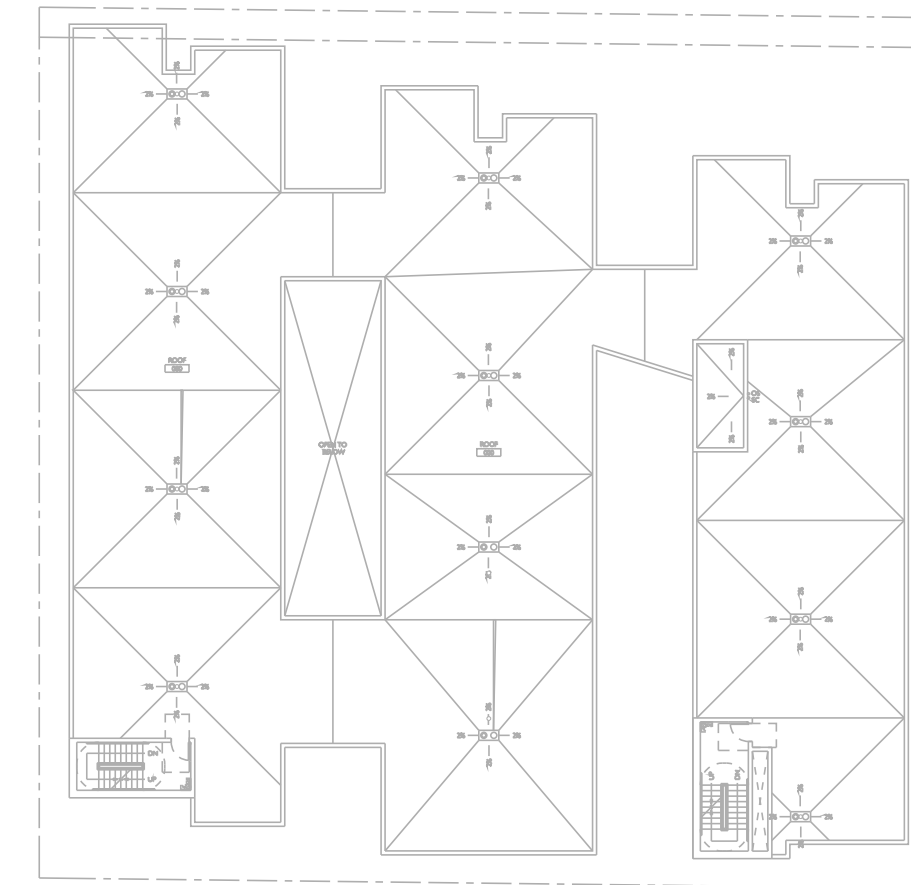
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2,035 SF OPEN SPACE

01 OPEN SPACE / LEVEL 1

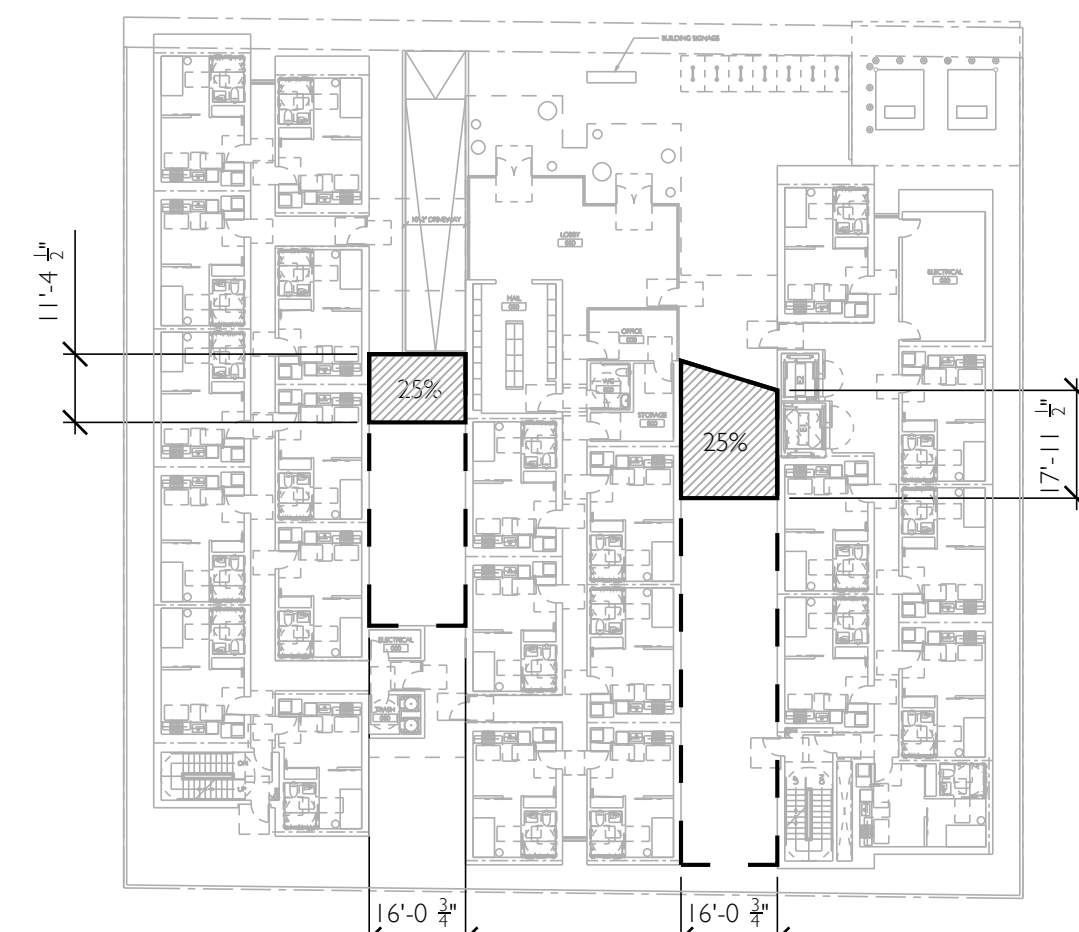
SCALE 1/32" = 1'-0"



0 SF LANDSCAPED OPEN SPACE PROVIDED (25%)
SEE LANDSCAPE PLANS FOR MORE DETAILS

08 OPEN SPACE LANDSCAPE / ROOF

N.T.S.



509 SF LANDSCAPED OPEN SPACE PROVIDED (25%)
SEE LANDSCAPE PLANS FOR MORE DETAILS

02 OPEN SPACE LANDSCAPE / LEVEL 1

SCALE 1/32" = 1'-0"

CLIENT /
 HFRM CORP
 9777 WILSHIRE BOULEVARD
 BEVERLY HILLS, CA 90212

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 LABBE FLANK + ASSOCIATES
 319 MAIN STREET
 EL SEQUENDO, CA 90245
 T 310 239 9700

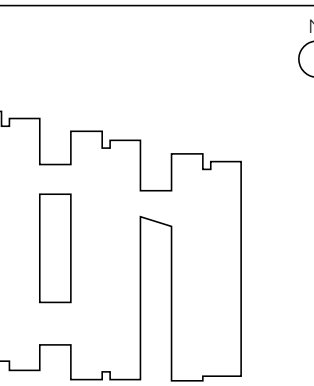
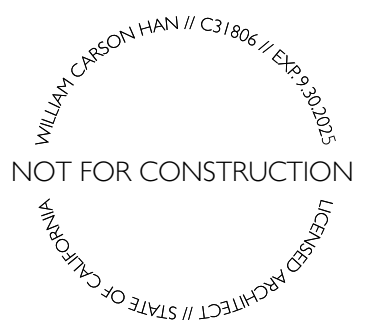
LANDSCAPE ARCHITECT /
 64NORTH
 719 N. FARFAX AVENUE, SUITE C
 LOS ANGELES, CA 90046
 T 310 919 0919

LAND USE CONSULTANT /
 BERCOUHM & COMPANY
 1425 VENTURA BOULEVARD, NO. 425
 ENCINO, CA 91436
 T 310 435 4594

STRUCTURAL ENGINEER /
 LABBE FLANK + ASSOCIATES
 319 MAIN STREET
 EL SEQUENDO, CA 90245
 T 310 239 9700

SHORING /
 LABBE FLANK + ASSOCIATES
 319 MAIN STREET
 EL SEQUENDO, CA 90245
 T 310 239 9700

SURVEYOR /
 ASI CONSULTANTS
 2500 CAMINO DIABLO
 WALNUT CREEK, CA 94597
 T 925 746 6000



7762-7770 WEST
 HOLLYWOOD BOULEVARD
 LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

PRODUCT DATA

A063

BICYCLE RACK

BICYCLE RACK PARKING ZONE AND CLEARANCE ENVELOPE

NOT TO SCALE

BUREAU OF ENGINEERING		DEPARTMENT OF PUBLIC WORKS		CITY OF LOS ANGELES	
BICYCLE RACK		STANDARD PLAN		S - 671-1	
PREPARED MAYRA PARRON BUREAU OF ENGINEERING	SUBMITTED <i>[Signature]</i> ZONING DIVISION, U.E. DIVISION OF PERMITS	APPROVED <i>[Signature]</i> JOAN LYNN MOORE, P.E. OFF MANAGER	05/15/2019	SUPERSEDES S-671-0	REFERENCES S-470
VAULT INDEX NUMBER: B-4783			SHEET 1 OF 4 SHEETS		

Monday through Friday Effective Dec 10, 2022 217

Table with columns for Northbound Al Norte and Southbound Al Sur, listing station names and arrival/departure times for Line 217.

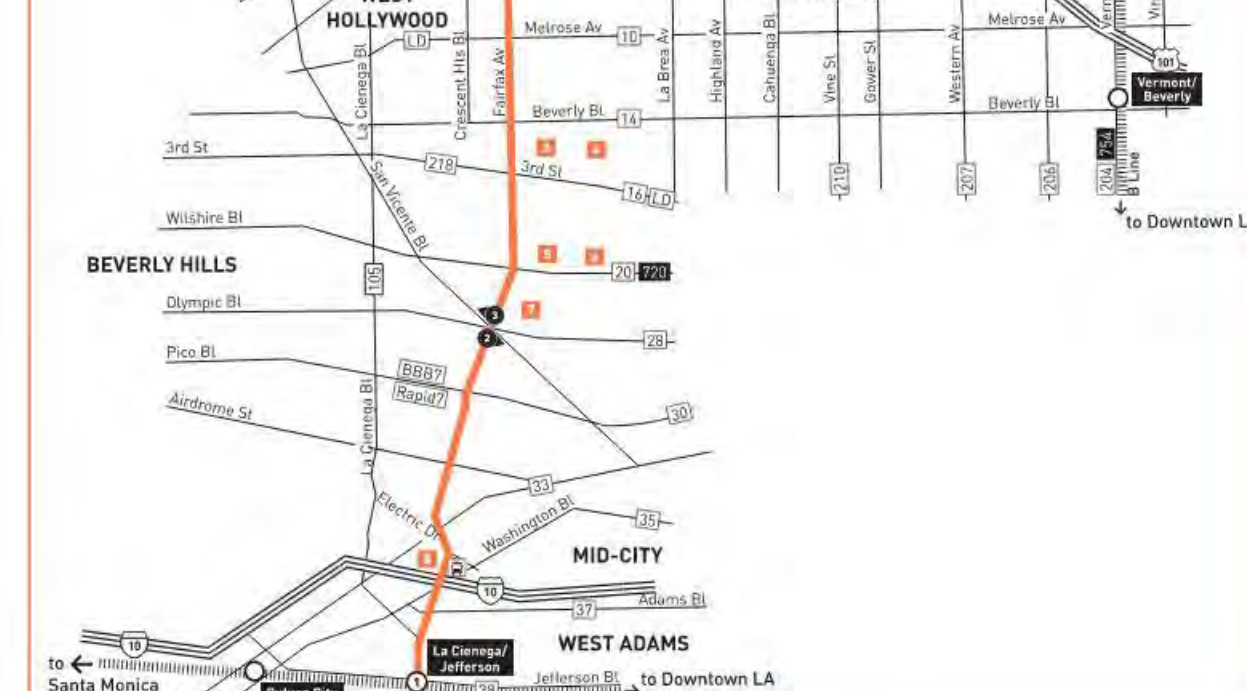
Saturday, Sunday and Holidays Effective Dec 10, 2022 217

Table with columns for Northbound Al Norte and Southbound Al Sur, listing station names and arrival/departure times for Line 217 on weekends and holidays.

Saturday, Sunday & Holiday Schedules
Horarios sábado, domingo y días feriados
Saturday, Sunday & Holiday schedule in effect on New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.

- Special Notes
Avisos especiales
Trips originate at Santa Monica/Vermont 2 minutes prior to the time shown.
Los viajes se originan en Santa Monica/Vermont 2 minutos antes de la hora mostrada.

Tap with pride. Don't forget to tap the validator with valid fare on your card before boarding. Includes QR code and Metro logo.



Map notes and legend for Line 217. Includes station names like Kaiser Permanente Hospital, Children's Hospital, and Farmers Market. Legend defines symbols for route types and stop types.

64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90044

02 / CLIENT & TEAM

CLIENT /
HFN CORP
1777 WELSH BOULEVARD
BEVERLY HILLS, CA 90212

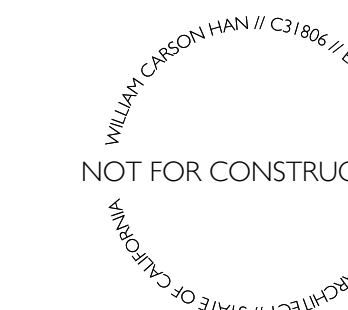
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90044

STRUCTURAL ENGINEER /
LABE FLUNK & ASSOCIATES
319 MAIN STREET
EL SEQUOYO, CA 90245

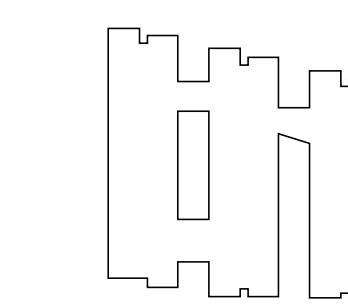
SHORING /
LABE FLUNK & ASSOCIATES
319 MAIN STREET
EL SEQUOYO, CA 90245

SURVEYOR /
A&I CONSULTANTS
2500 CANINO DR.
WALNUT CREEK, CA 94597

03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

7762-7770 WEST HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

06 / REVISIONS

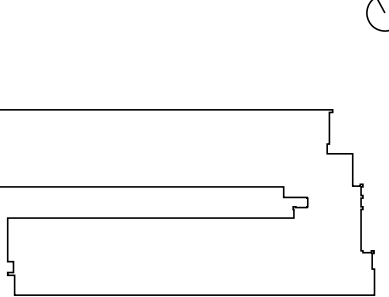
Table with columns for NO., DATE, and DESCRIPTION, showing revision 01 on 01/20/24 for SCHEMATIC DESIGN.

07 / SHEET TITLE

TRANSIT SCHEDULES

08 / SHEET NUMBER

A071



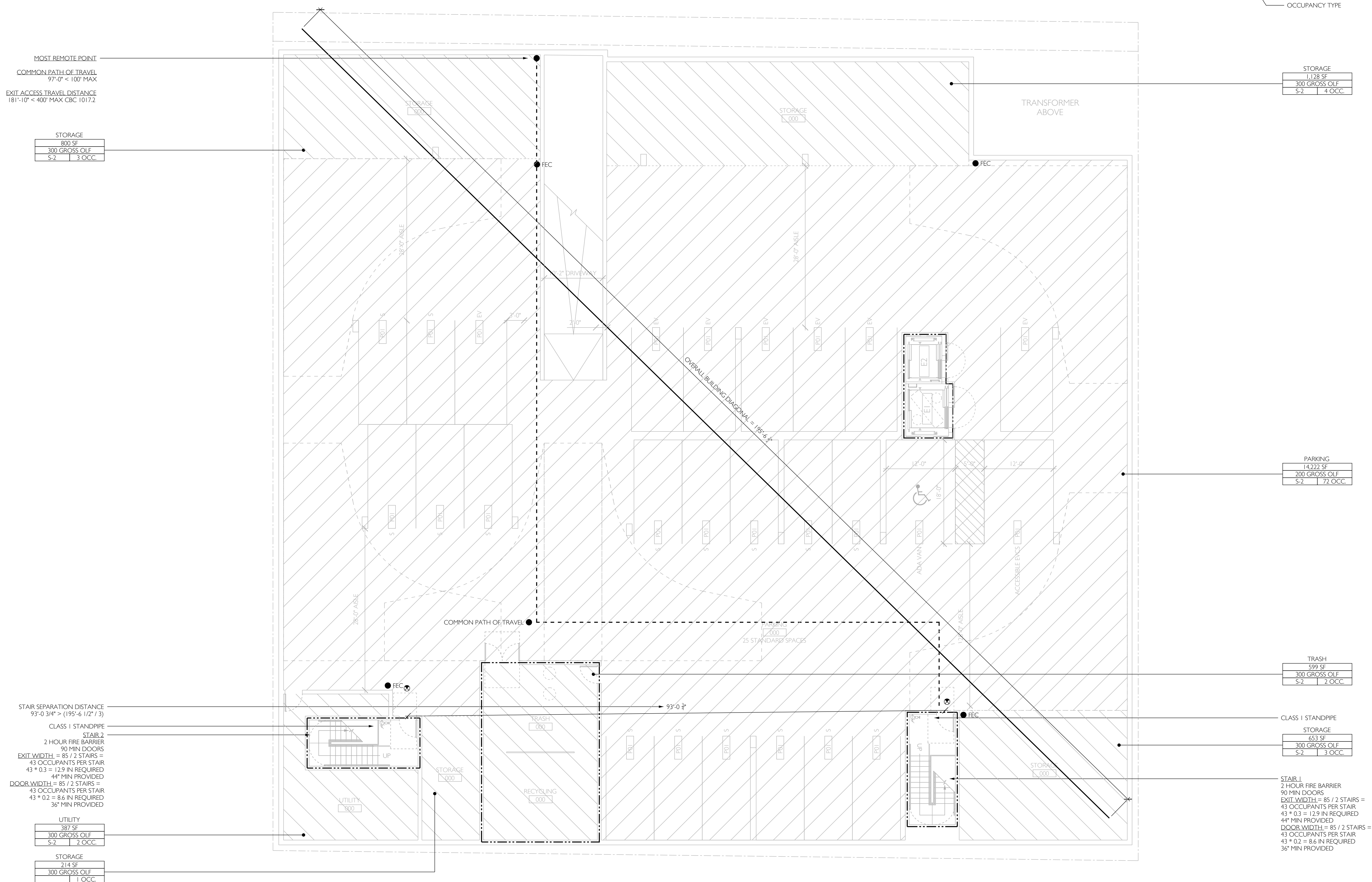
NO.	DATE	DESCRIPTION
01	1/2/2023	SCHEMATIC DESIGN

BASEMENT LIFE SAFETY PLAN

LS200

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE



MOST REMOTE POINT
COMMON PATH OF TRAVEL
97'-0" < 100' MAX
EXIT ACCESS TRAVEL DISTANCE
181'-10" < 400' MAX CBC 1017.2

STORAGE
800 SF
300 GROSS OLF
S-2 3 OCC.

STORAGE
1128 SF
300 GROSS OLF
S-2 4 OCC.

PARKING
14,222 SF
200 GROSS OLF
S-2 72 OCC.

TRASH
599 SF
300 GROSS OLF
S-2 2 OCC.

CLASS I STANDPIPE
STORAGE
653 SF
300 GROSS OLF
S-2 3 OCC.

STAIR 1
2-HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 85 / 2 STAIRS =
43 OCCUPANTS PER STAIR
43 * 0.3 = 12.9 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 85 / 2 STAIRS =
43 OCCUPANTS PER STAIR
43 * 0.2 = 8.6 IN REQUIRED
36" MIN PROVIDED

STAIR SEPARATION DISTANCE
93'-0 3/4" > (195'-6 1/2" / 3)
CLASS I STANDPIPE
STAIR 2
2-HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 85 / 2 STAIRS =
43 OCCUPANTS PER STAIR
43 * 0.3 = 12.9 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 85 / 2 STAIRS =
43 OCCUPANTS PER STAIR
43 * 0.2 = 8.6 IN REQUIRED
36" MIN PROVIDED

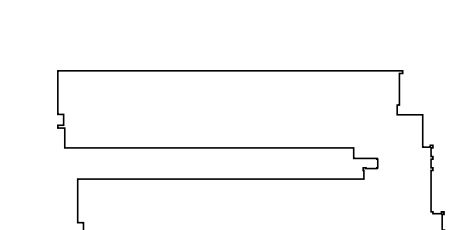
UTILITY
387 SF
300 GROSS OLF
S-2 2 OCC.

STORAGE
214 SF
300 GROSS OLF
1 OCC.

01 BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

LIFE SAFETY LEGEND

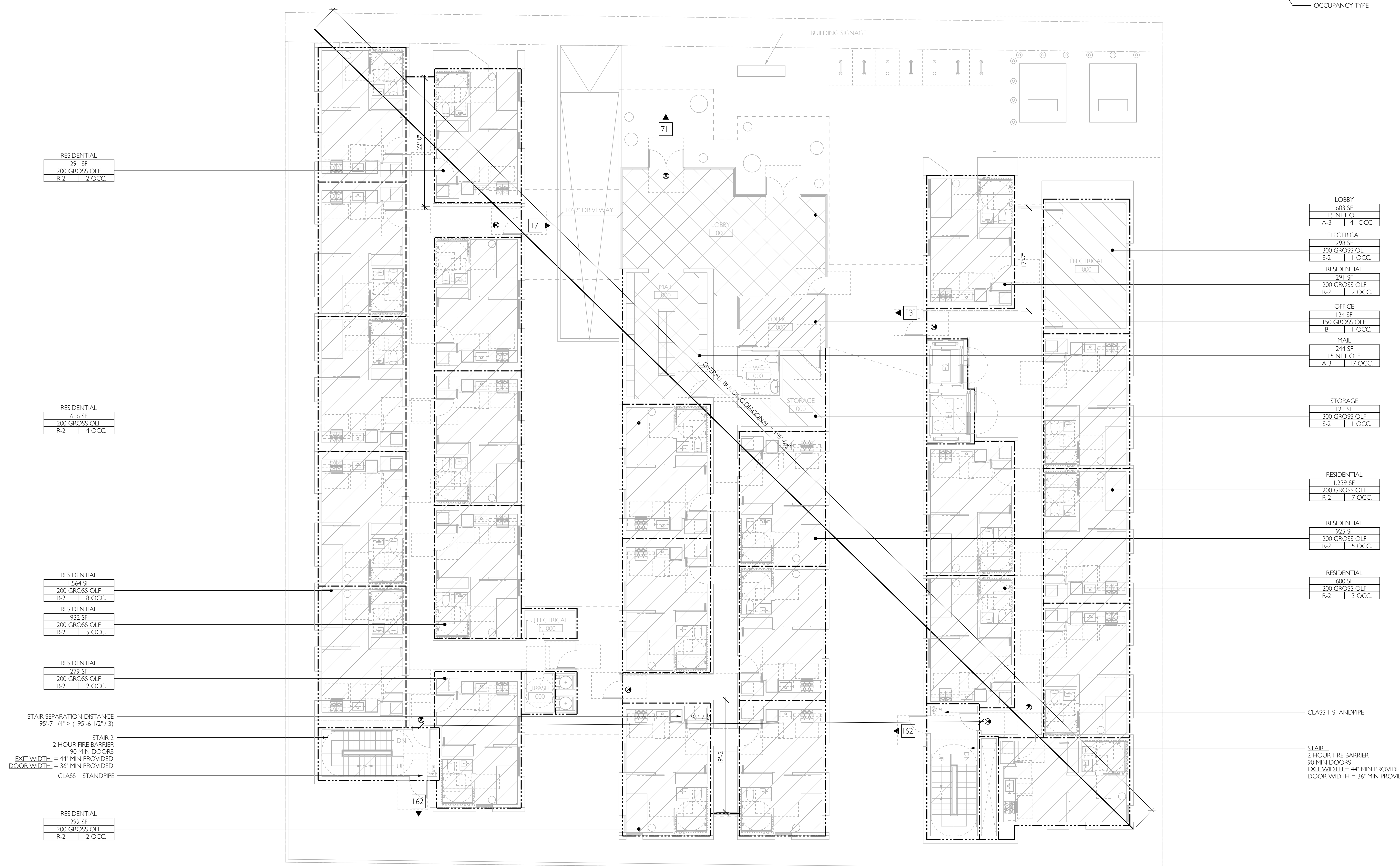
SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
- - -	2-HOUR FIRE SEPARATION
----	3-HOUR FIRE SEPARATION
⊗	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⬇	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE



715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

NO.	DATE	DESCRIPTION
01	12/2023	SCHEMATIC DESIGN

LEVEL I
LIFE
SAFETY
PLAN



RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
616 SF
200 GROSS OLF
R-2 4 OCC.

RESIDENTIAL
1,564 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
279 SF
200 GROSS OLF
R-2 2 OCC.

STAIR SEPARATION DISTANCE
95'-7 1/4" > (195'-6 1/2" / 3)

STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 44" MIN PROVIDED
DOOR WIDTH = 36" MIN PROVIDED
CLASS 1 STANDPIPE

RESIDENTIAL
292 SF
200 GROSS OLF
R-2 2 OCC.

LOBBY
603 SF
15 NET OLF
A-3 41 OCC.

ELECTRICAL
298 SF
300 GROSS OLF
S-2 1 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

OFFICE
124 SF
150 GROSS OLF
B 1 OCC.

MAIL
244 SF
15 NET OLF
A-3 17 OCC.

STORAGE
121 SF
300 GROSS OLF
S-2 1 OCC.

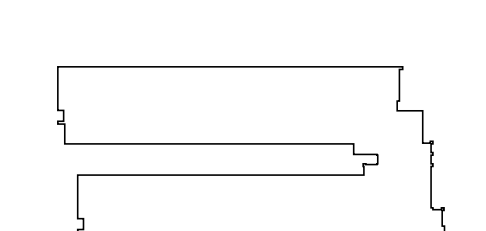
RESIDENTIAL
1,239 SF
200 GROSS OLF
R-2 7 OCC.

RESIDENTIAL
925 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
600 SF
200 GROSS OLF
R-2 3 OCC.

CLASS 1 STANDPIPE

STAIR 1
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 44" MIN PROVIDED
DOOR WIDTH = 36" MIN PROVIDED



715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

NO.	DATE	DESCRIPTION
01	12/2023	SCHEMATIC DESIGN

LEVEL 2 LIFE SAFETY PLAN

LS202

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
+	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE

MOST REMOTE POINT

COMMON PATH OF TRAVEL
36'-0" < 125' MAX

EXIT ACCESS TRAVEL DISTANCE
181'-5" < 250' MAX CBC 1017.2

RESIDENTIAL	291 SF
200 GROSS OLF	
R-2	2 OCC.

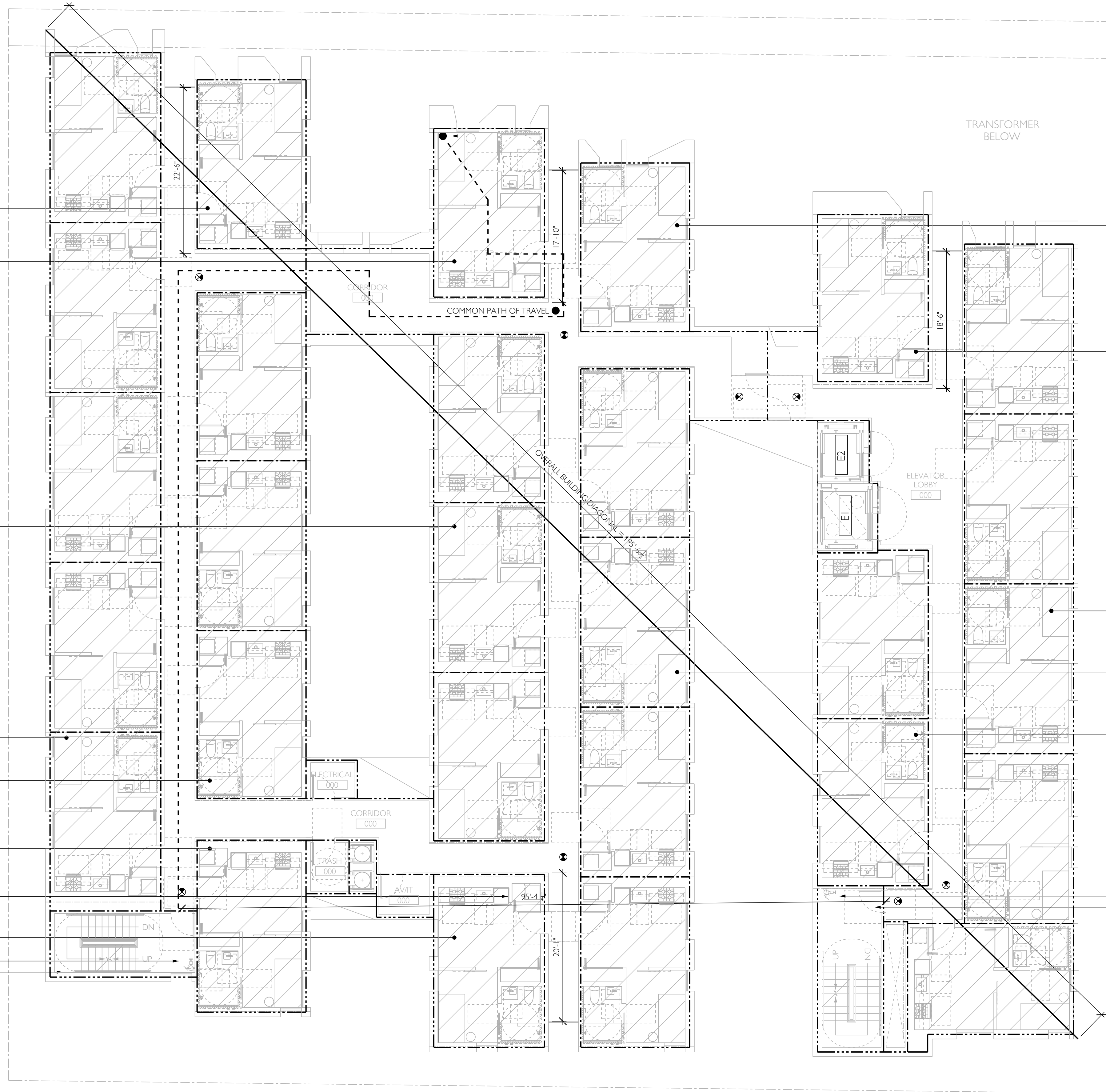
RESIDENTIAL	291 SF
200 GROSS OLF	
R-2	2 OCC.

RESIDENTIAL	1,556 SF
200 GROSS OLF	
R-2	8 OCC.

RESIDENTIAL	1,252 SF
200 GROSS OLF	
R-2	7 OCC.

RESIDENTIAL	600 SF
200 GROSS OLF	
R-2	3 OCC.

CLASS 1 STANDPIPE
STAIR 1
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.3 = 7.2 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.2 = 4.8 IN REQUIRED
36" MIN PROVIDED



RESIDENTIAL	291 SF
200 GROSS OLF	
R-2	2 OCC.

RESIDENTIAL	291 SF
200 GROSS OLF	
R-2	2 OCC.

RESIDENTIAL	932 SF
200 GROSS OLF	
R-2	5 OCC.

RESIDENTIAL	1,564 SF
200 GROSS OLF	
R-2	8 OCC.

RESIDENTIAL	932 SF
200 GROSS OLF	
R-2	5 OCC.

RESIDENTIAL	279 SF
200 GROSS OLF	
R-2	2 OCC.

STAIR SEPARATION DISTANCE
95'-4 1/4" > (195'-6 1/2" / 3)

RESIDENTIAL	292 SF
200 GROSS OLF	
R-2	2 OCC.

CLASS 1 STANDPIPE
STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.3 = 7.2 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.2 = 4.8 IN REQUIRED
36" MIN PROVIDED

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE

MOST REMOTE POINT

COMMON PATH OF TRAVEL
36'-0" < 125' MAX

EXIT ACCESS TRAVEL DISTANCE
181'-5" < 250' MAX CBC 1017.2

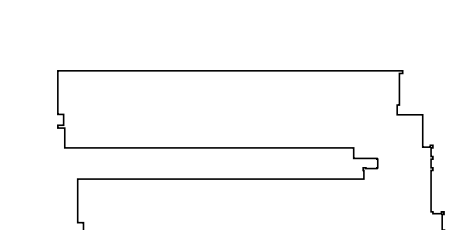
RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
1,556 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
1,252 SF
200 GROSS OLF
R-2 7 OCC.

RESIDENTIAL
600 SF
200 GROSS OLF
R-2 3 OCC.

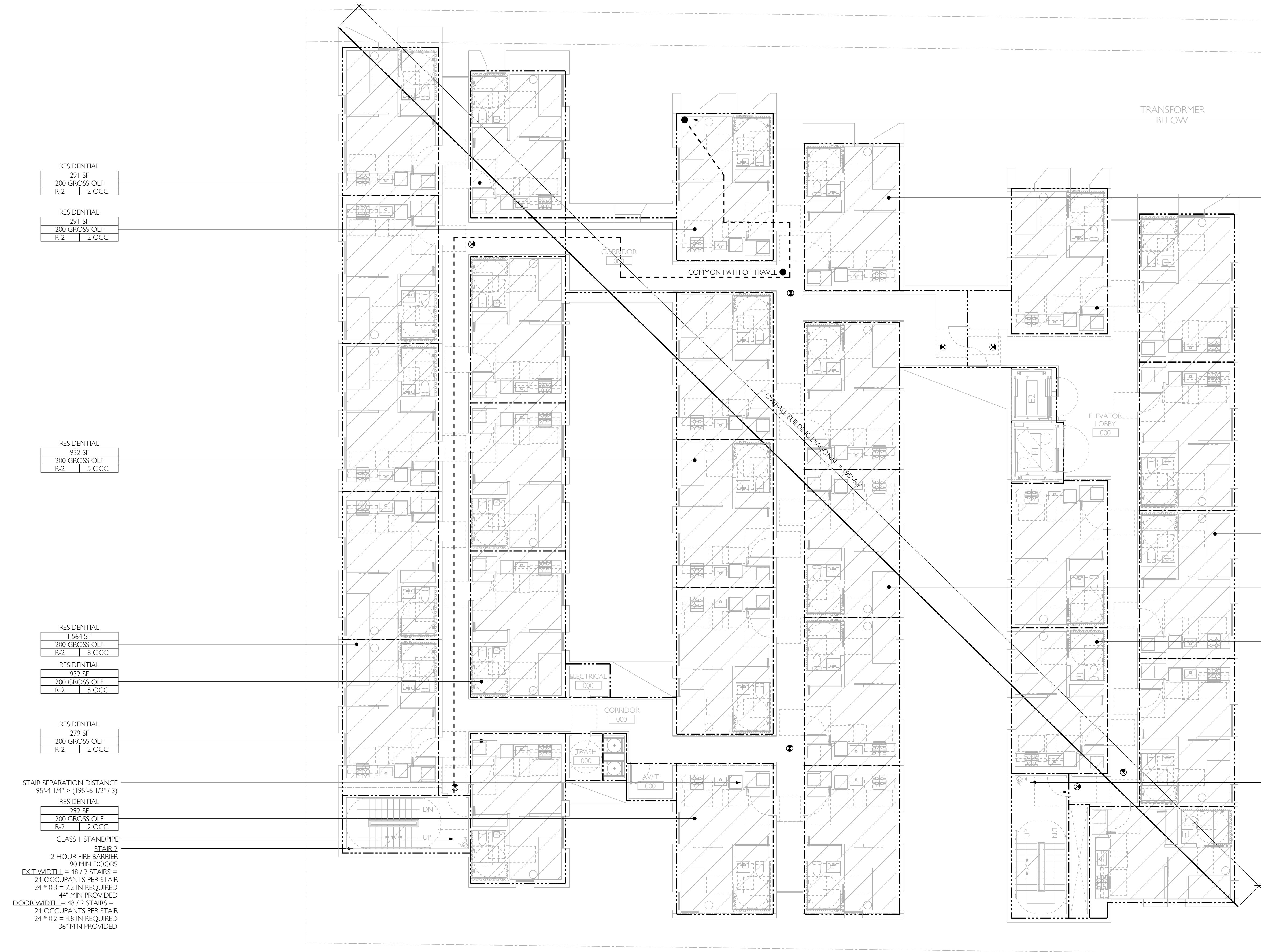


715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

NO.	DATE	DESCRIPTION
01	1/2/2023	SCHEMATIC DESIGN

LEVEL 3
LIFE
SAFETY
PLAN

LS203



RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
1,564 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
279 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
292 SF
200 GROSS OLF
R-2 2 OCC.

CLASS 1 STANDPIPE
STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
24 OCCUPANTS PER STAIR
24 * 0.3 = 7.2 IN REQUIRED
44" MIN PROVIDED

DOOR WIDTH = 48" / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.2 = 4.8 IN REQUIRED
36" MIN PROVIDED

STAIR SEPARATION DISTANCE
95'-4 1/4" > (195'-6 1/2" / 3)

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE

MOST REMOTE POINT

COMMON PATH OF TRAVEL
36'-0" < 125' MAX

EXIT ACCESS TRAVEL DISTANCE
181'-5" < 250' MAX CBC 1017.2

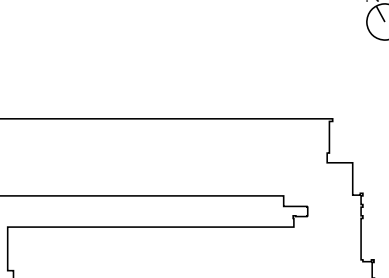
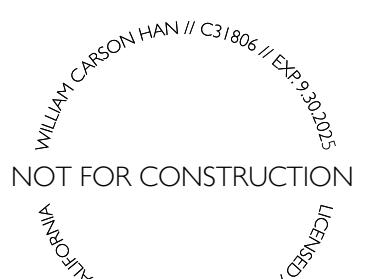
RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
1,556 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
1,252 SF
200 GROSS OLF
R-2 7 OCC.

RESIDENTIAL
600 SF
200 GROSS OLF
R-2 3 OCC.

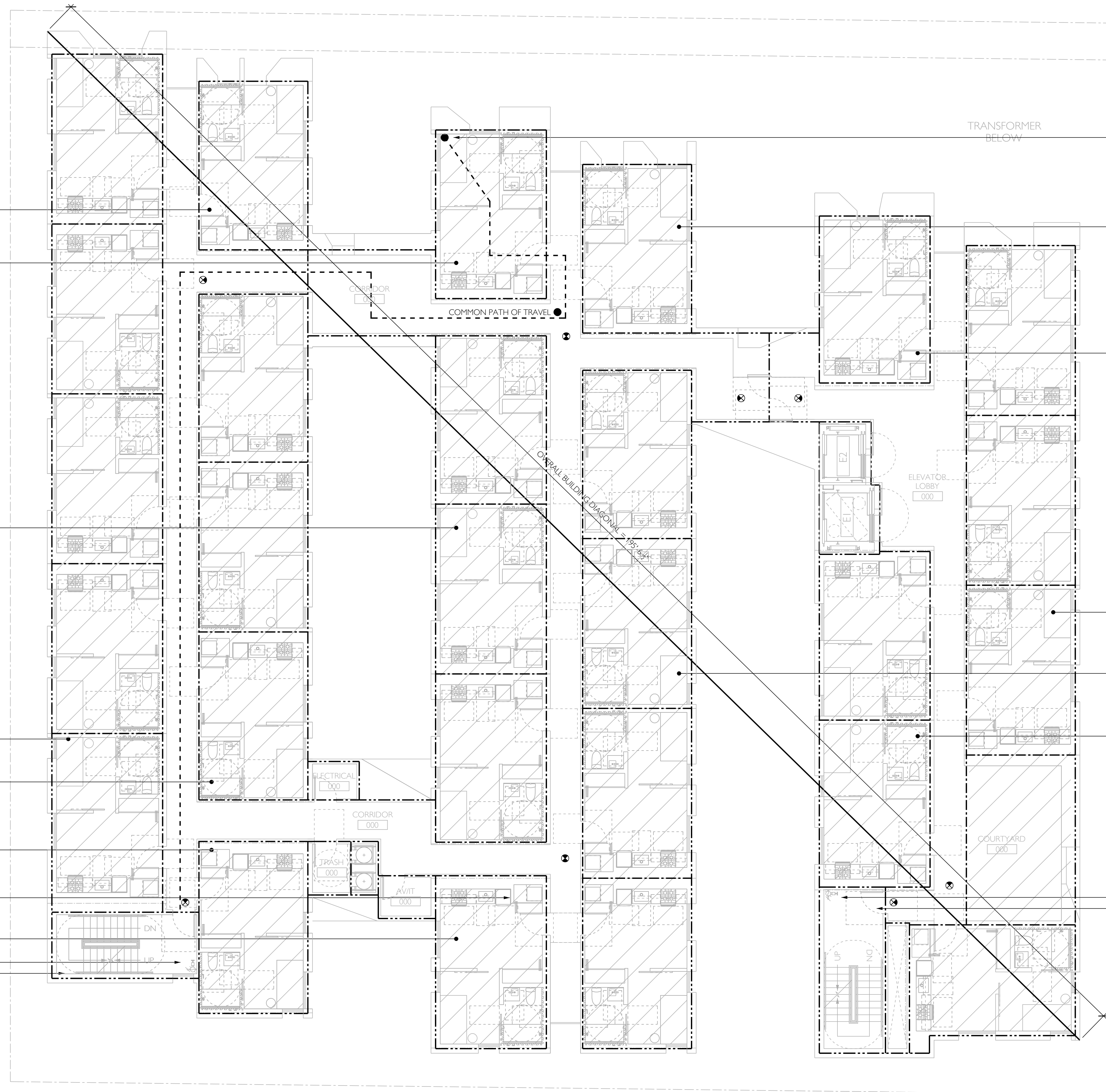


715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

NO.	DATE	DESCRIPTION
01	1/2/2023	SCHEMATIC DESIGN

LEVEL 4
LIFE
SAFETY
PLAN

LS204



RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
1,564 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
279 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
292 SF
200 GROSS OLF
R-2 2 OCC.

CLASS 1 STANDPIPE
STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.3 = 7.2 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.2 = 4.8 IN REQUIRED
36" MIN PROVIDED

STAIR SEPARATION DISTANCE
95'-4 1/4" > (195'-6 1/2" / 3)

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE

MOST REMOTE POINT

COMMON PATH OF TRAVEL
36'-0" < 125' MAX

EXIT ACCESS TRAVEL DISTANCE
181'-5" < 250' MAX CBC 1017.2

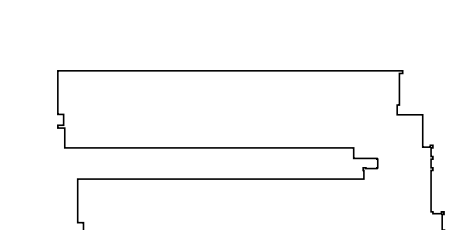
RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
1,556 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
1,252 SF
200 GROSS OLF
R-2 7 OCC.

RESIDENTIAL
600 SF
200 GROSS OLF
R-2 3 OCC.

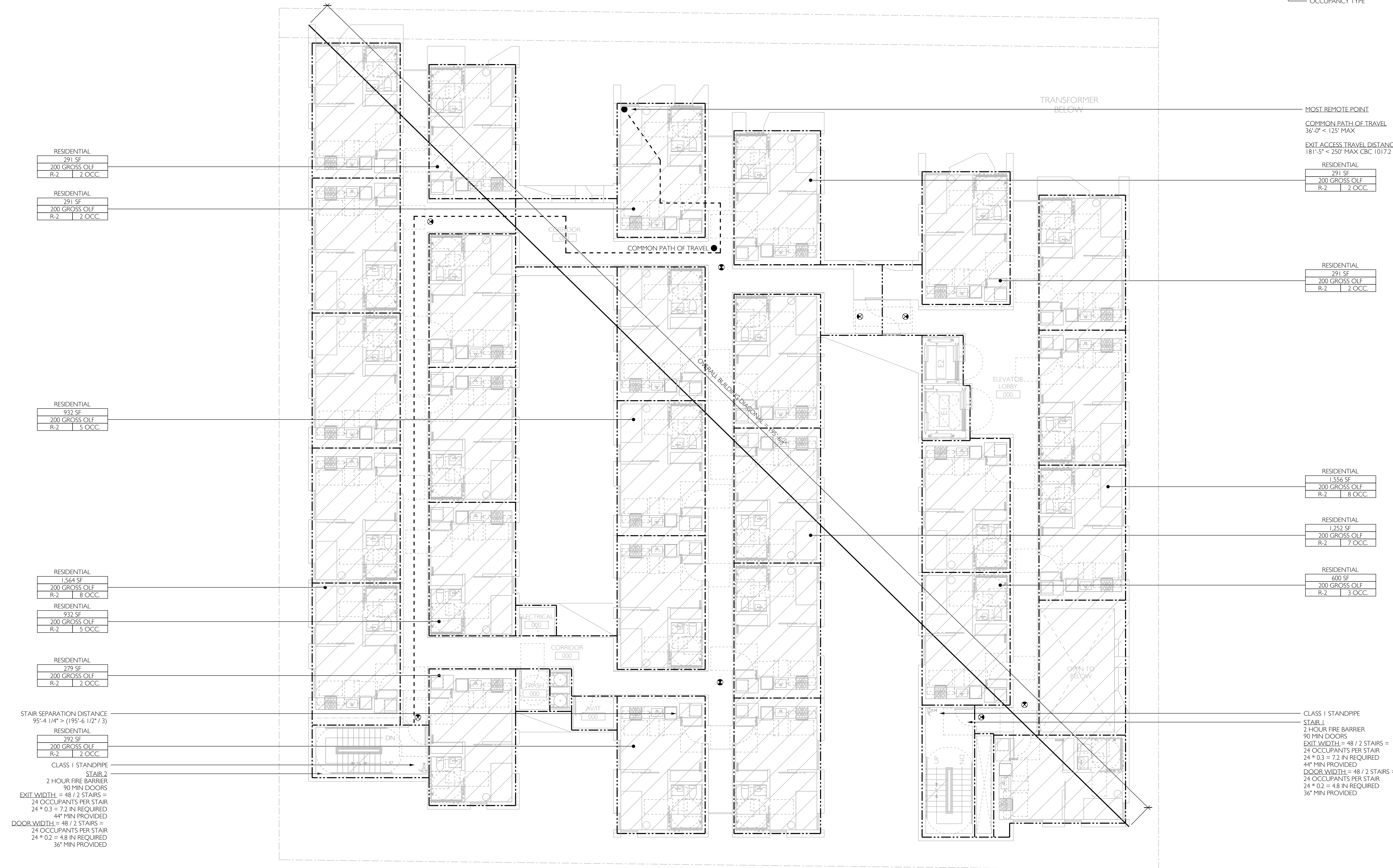


715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

NO.	DATE	DESCRIPTION
01	1/2/2023	SCHEMATIC DESIGN

LEVEL 5
LIFE
SAFETY
PLAN

LS205



RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
1,564 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
279 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
292 SF
200 GROSS OLF
R-2 2 OCC.

CLASS 1 STANDPIPE
STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.3 = 7.2 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 48 / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.2 = 4.8 IN REQUIRED
36" MIN PROVIDED

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE

MOST REMOTE POINT

COMMON PATH OF TRAVEL
36'-0" < 125' MAX

EXIT ACCESS TRAVEL DISTANCE
181'-5" < 250' MAX CBC 1017.2

RESIDENTIAL	291 SF
200 GROSS OLF	R-2 2 OCC.

RESIDENTIAL	291 SF
200 GROSS OLF	R-2 2 OCC.

RESIDENTIAL	291 SF
200 GROSS OLF	R-2 2 OCC.

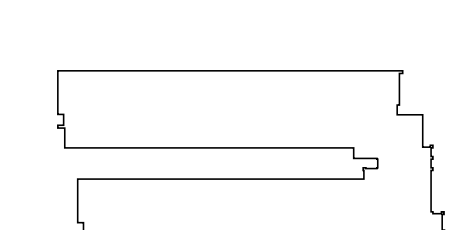
COURTYARD	294 SF
15 NET OLF	A-3 20 OCC.

RESIDENTIAL	924 SF
200 GROSS OLF	R-2 5 OCC.

RESIDENTIAL	1,252 SF
200 GROSS OLF	R-2 7 OCC.

RESIDENTIAL	600 SF
200 GROSS OLF	R-2 3 OCC.

CLASS 1 STANDPIPE
STAIR 1
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 42 / 2 STAIRS =
21 OCCUPANTS PER STAIR
21 * 0.3 = 6.3 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 42 / 2 STAIRS =
21 OCCUPANTS PER STAIR
21 * 0.2 = 4.2 IN REQUIRED
36" MIN PROVIDED

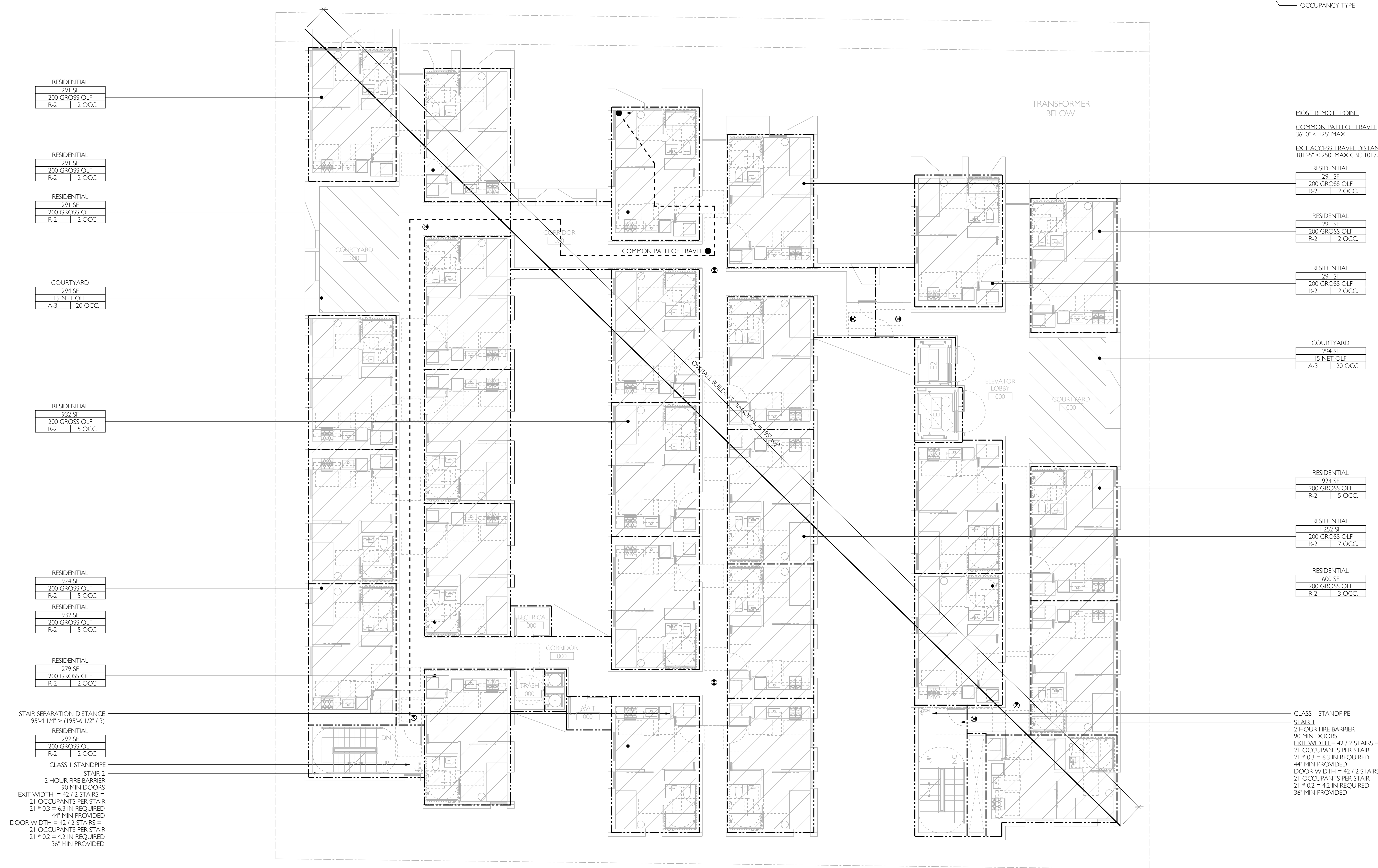


715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

NO.	DATE	DESCRIPTION
01	1/2/2023	SCHEMATIC DESIGN

**LEVEL 6
LIFE
SAFETY
PLAN**

LS206



RESIDENTIAL	291 SF
200 GROSS OLF	R-2 2 OCC.

RESIDENTIAL	291 SF
200 GROSS OLF	R-2 2 OCC.

RESIDENTIAL	291 SF
200 GROSS OLF	R-2 2 OCC.

COURTYARD	294 SF
15 NET OLF	A-3 20 OCC.

RESIDENTIAL	932 SF
200 GROSS OLF	R-2 5 OCC.

RESIDENTIAL	924 SF
200 GROSS OLF	R-2 5 OCC.

RESIDENTIAL	932 SF
200 GROSS OLF	R-2 5 OCC.

RESIDENTIAL	279 SF
200 GROSS OLF	R-2 2 OCC.

RESIDENTIAL	292 SF
200 GROSS OLF	R-2 2 OCC.

STAIR SEPARATION DISTANCE
95'-4 1/4" > (195'-6 1/2" / 3)

CLASS 1 STANDPIPE
STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 42 / 2 STAIRS =
21 OCCUPANTS PER STAIR
21 * 0.3 = 6.3 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 42 / 2 STAIRS =
21 OCCUPANTS PER STAIR
21 * 0.2 = 4.2 IN REQUIRED
36" MIN PROVIDED

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
⦿	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE

MOST REMOTE POINT

COMMON PATH OF TRAVEL
36'-0" < 125' MAX

EXIT ACCESS TRAVEL DISTANCE
181'-5" < 250' MAX CBC 1017.2

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

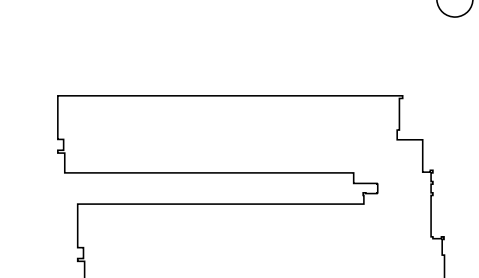
RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

06 / REVISIONS

NO.	DATE	DESCRIPTION
01	1/2/2023	SCHEMATIC DESIGN

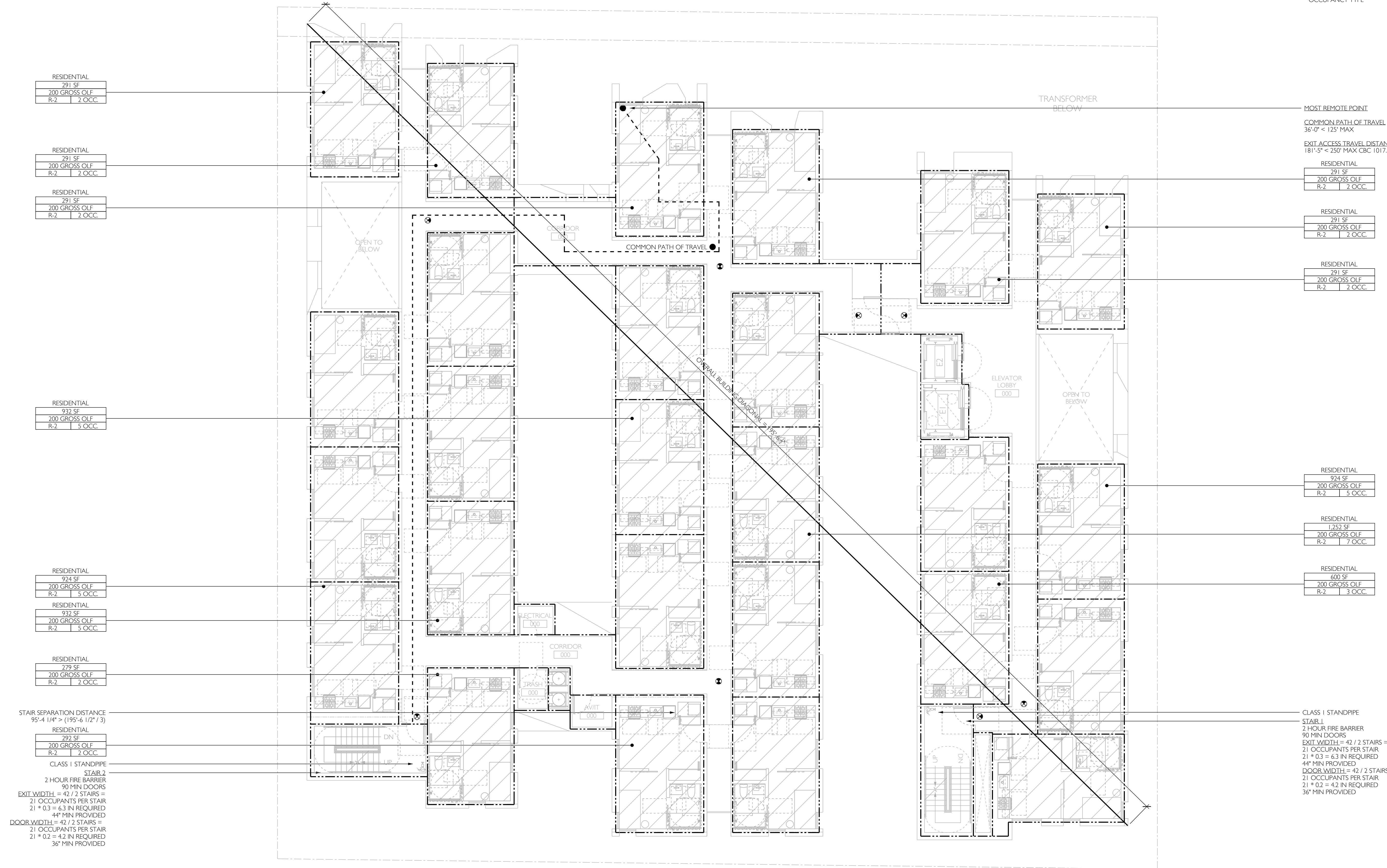
07 / SHEET TITLE

LEVEL 7
LIFE
SAFETY
PLAN

08 / SHEET NUMBER

LS207

01 LEVEL 7 FLOOR PLAN
SCALE 1/8" = 1'-0"



RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
924 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
279 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
292 SF
200 GROSS OLF
R-2 2 OCC.

CLASS 1 STANDPIPE
STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
21 OCCUPANTS PER STAIR
21 * 0.3 = 6.3 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 42 / 2 STAIRS =
21 OCCUPANTS PER STAIR
21 * 0.2 = 4.2 IN REQUIRED
36" MIN PROVIDED

RESIDENTIAL
924 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
924 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
600 SF
200 GROSS OLF
R-2 3 OCC.

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE

MOST REMOTE POINT

COMMON PATH OF TRAVEL
36'-0" < 125' MAX

EXIT ACCESS TRAVEL DISTANCE
181'-5" < 250' MAX CBC 1017.2

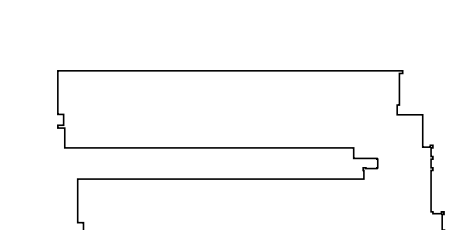
RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
1,556 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
1,252 SF
200 GROSS OLF
R-2 7 OCC.

RESIDENTIAL
600 SF
200 GROSS OLF
R-2 3 OCC.

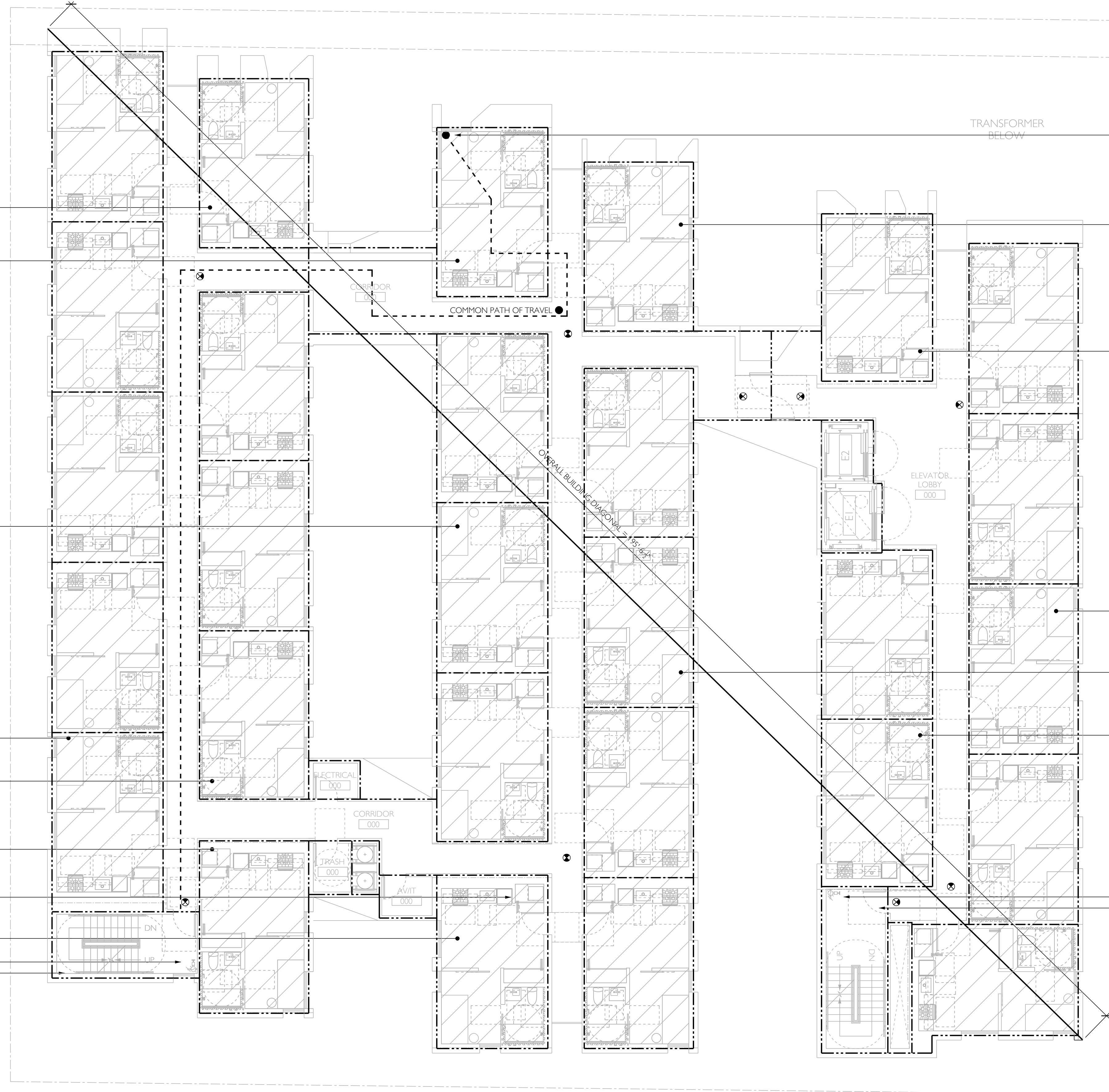


715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

NO.	DATE	DESCRIPTION
01	1/2/2023	SCHEMATIC DESIGN

LEVEL 8
LIFE
SAFETY
PLAN

LS208



RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
291 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

RESIDENTIAL
1,564 SF
200 GROSS OLF
R-2 8 OCC.

RESIDENTIAL
932 SF
200 GROSS OLF
R-2 5 OCC.

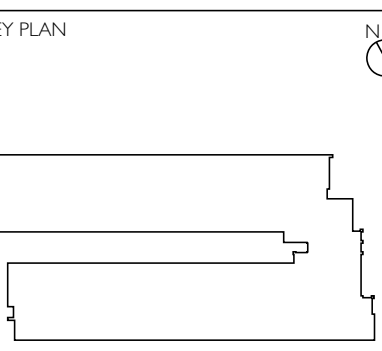
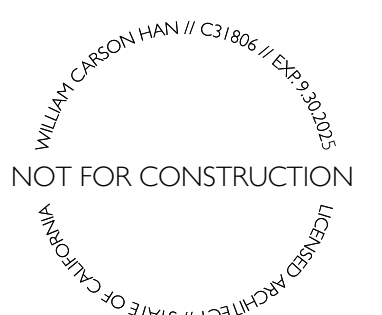
RESIDENTIAL
279 SF
200 GROSS OLF
R-2 2 OCC.

RESIDENTIAL
292 SF
200 GROSS OLF
R-2 2 OCC.

STAIR SEPARATION DISTANCE
95'-4 1/4" > (195'-6 1/2" / 3)

RESIDENTIAL
292 SF
200 GROSS OLF
R-2 | 2 OCC.

CLASS 1 STANDPIPE
STAIR 2
2 HOUR FIRE BARRIER
90 MIN DOORS
EXIT WIDTH = 48" / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.3 = 7.2 IN REQUIRED
44" MIN PROVIDED
DOOR WIDTH = 48" / 2 STAIRS =
24 OCCUPANTS PER STAIR
24 * 0.2 = 4.8 IN REQUIRED
36" MIN PROVIDED

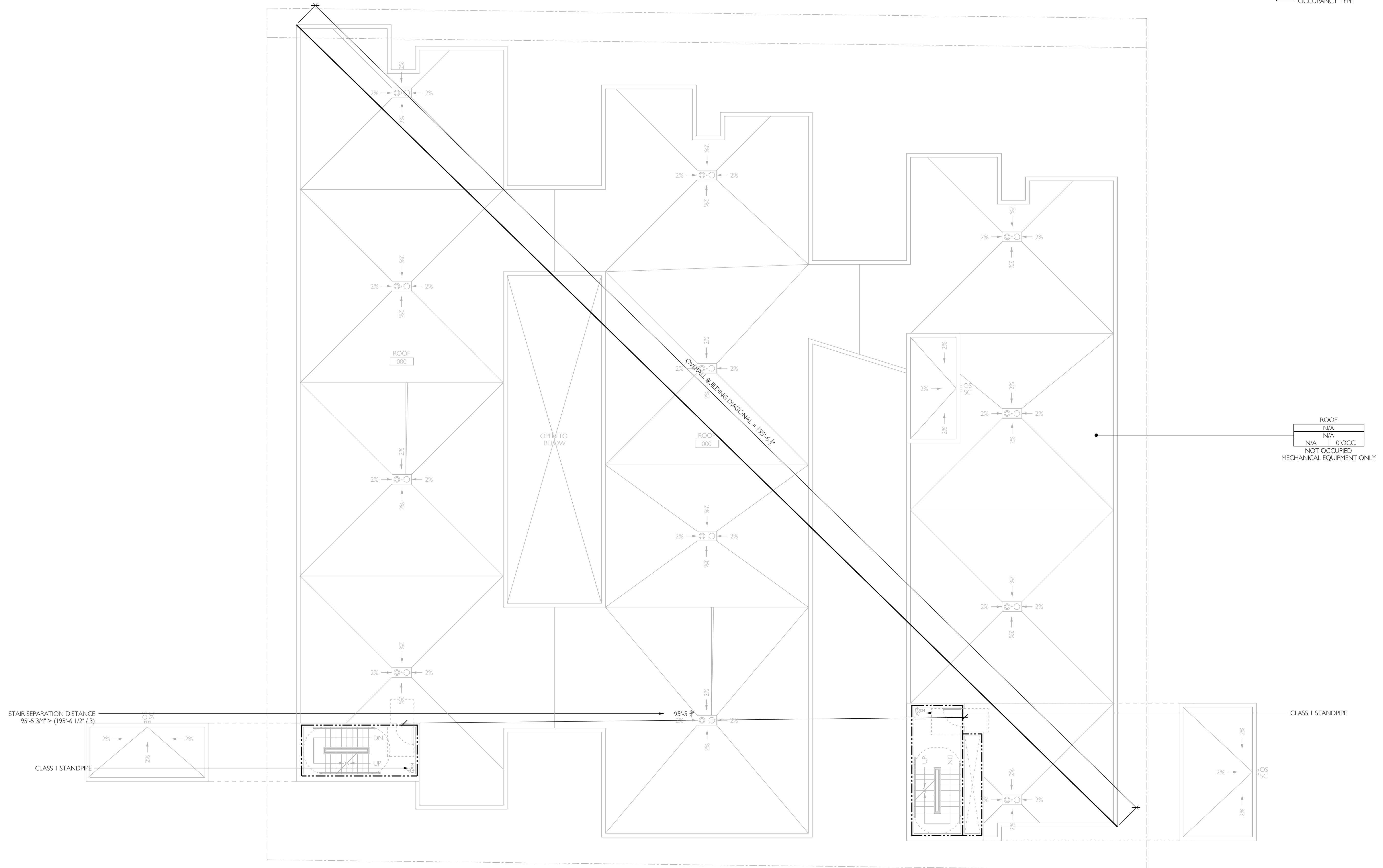


NO.	DATE	DESCRIPTION
01	12/2023	SCHEMATIC DESIGN

ROOF
LIFE
SAFETY
PLAN

LIFE SAFETY LEGEND

SYMBOL	TYPE
---	1-HOUR FIRE SEPARATION
----	2-HOUR FIRE SEPARATION
-----	3-HOUR FIRE SEPARATION
⊕	EXIT SIGN
●	FIRE EXTINGUISHER
◀	EXIT OR EXIT ACCESS
⊞	NUMBER OF OCCUPANT EXITING
▭	AREA
▭	OCCUPANT LOAD FACTOR
▭	OCCUPANT LOAD
▭	OCCUPANCY TYPE



STAIR SEPARATION DISTANCE
95'-5 3/4" > (195'-6 1/2" / 3)

CLASS 1 STANDPIPE

95'-5 3/4"

CLASS 1 STANDPIPE

CLIENT /
HPR CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

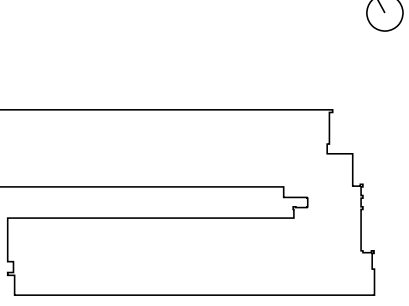
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BERCUM & COMPANY
1255 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
TR&G CIVIL ENGINEERING & LAND SURVEYING
347 S. ROBERTSON BLVD.
BEVERLY HILLS, CA 90211
T 310 659 0871

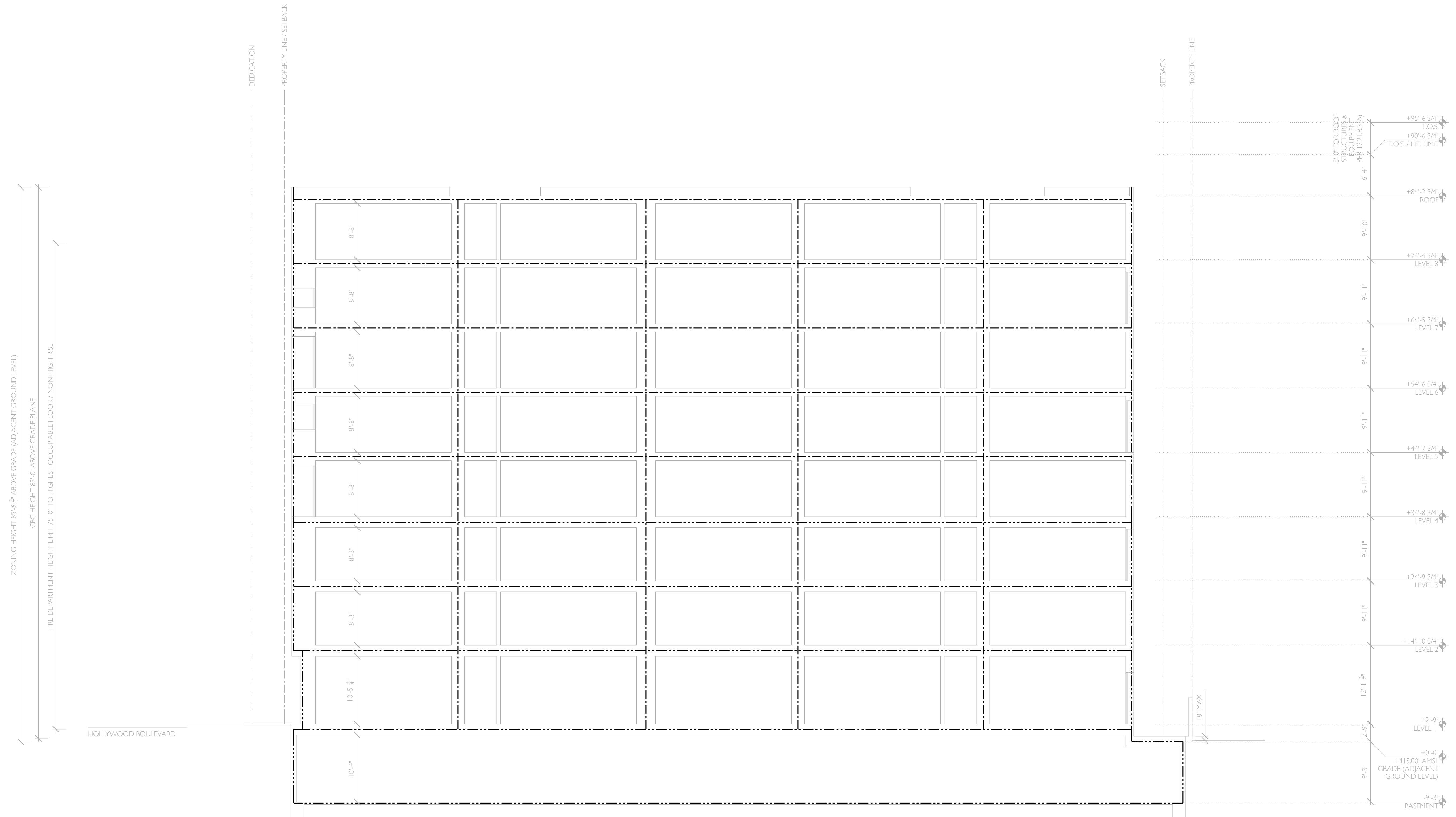


715 S. PARK VIEW STREET
LOS ANGELES, CA 90057

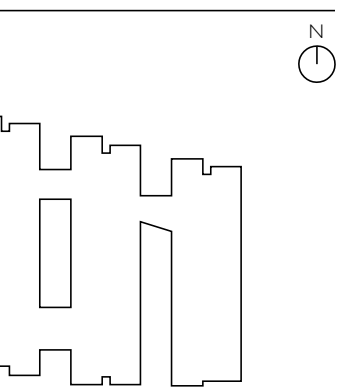
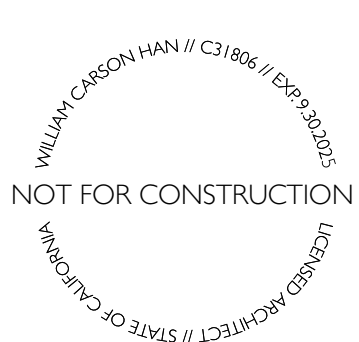
NO.	DATE	DESCRIPTION
01	12/2023	SCHEMATIC DESIGN

LIFE
SAFETY
SECTION

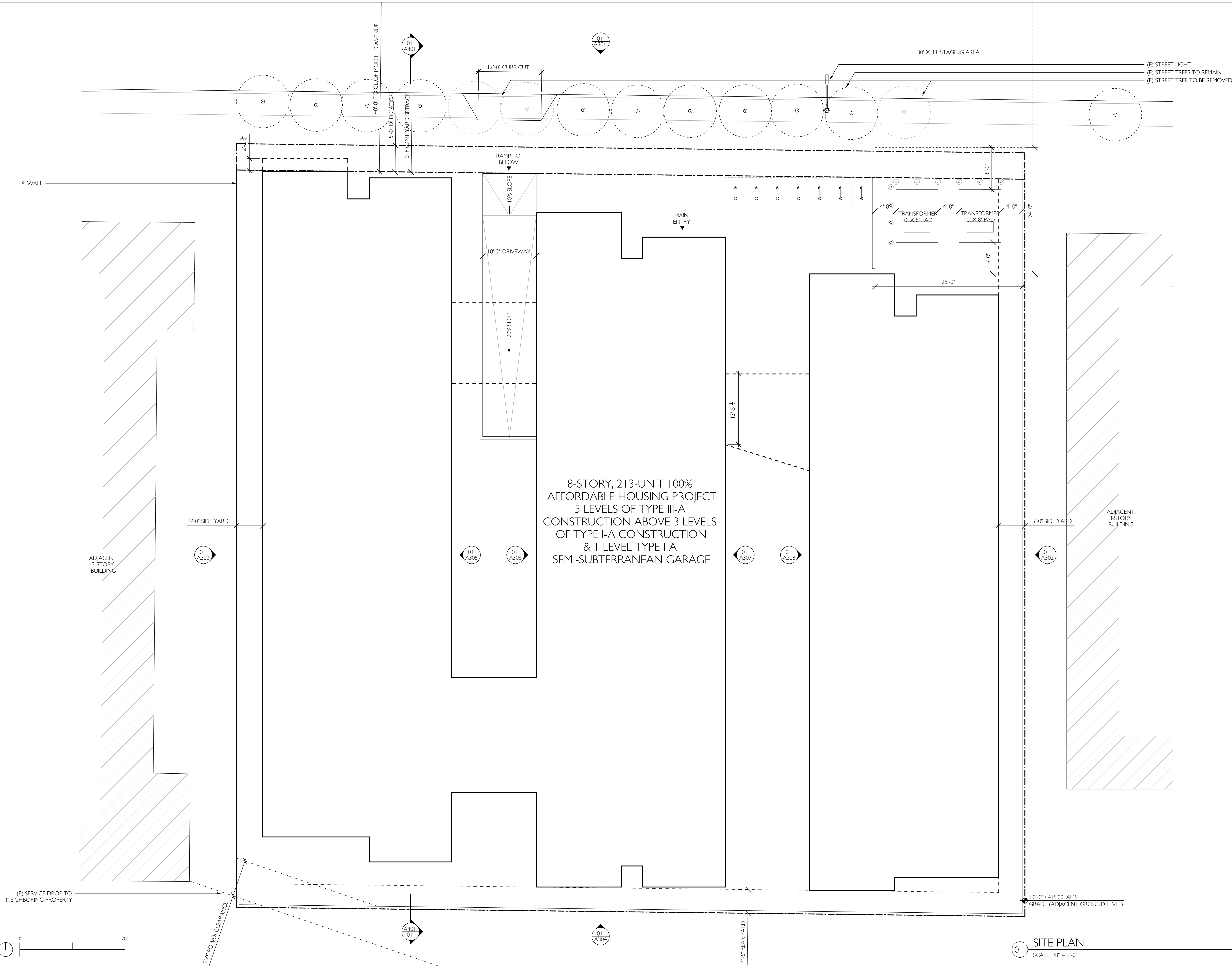
LS401



01 NORTH-SOUTH SECTION
SCALE 1/8" = 1'-0"



NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN



01 SITE PLAN
SCALE 1/8" = 1'-0"

CLIENT /
HFM CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

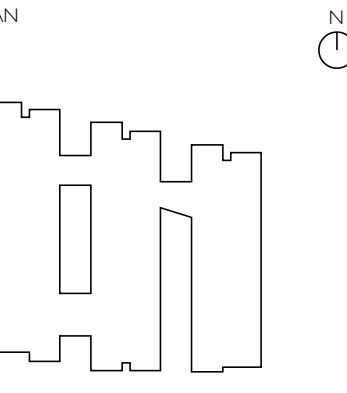
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310.919.0919

LAND USE CONSULTANT /
BERCULIHM & COMPANY
1425 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310.435.4594

STRUCTURAL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SHORING /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

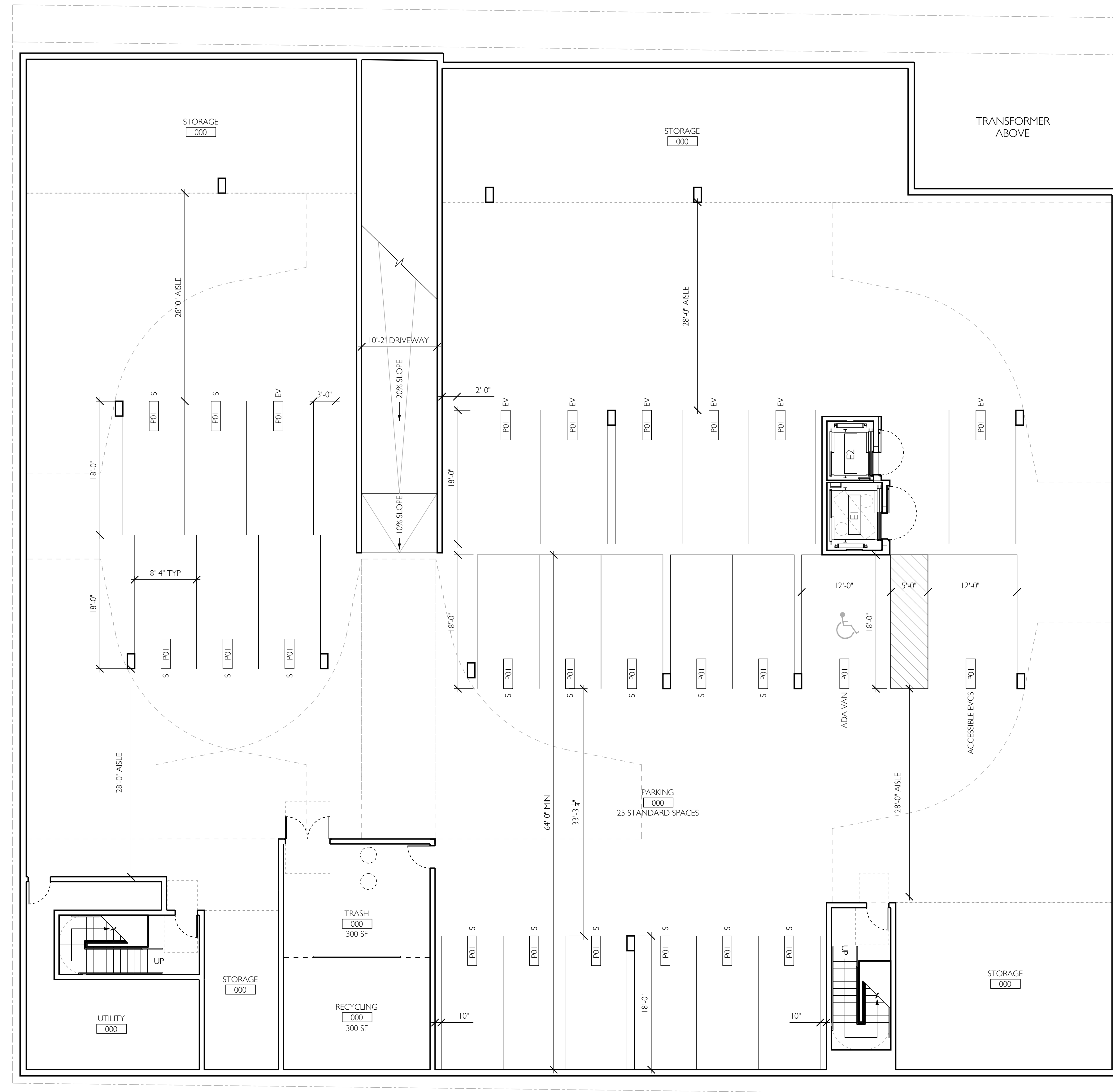
SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925.746.6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

**BASEMENT
PLAN**



01 BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

A200

CLIENT /
HRN CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310.919.0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310.435.4594

STRUCTURAL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SHORING /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

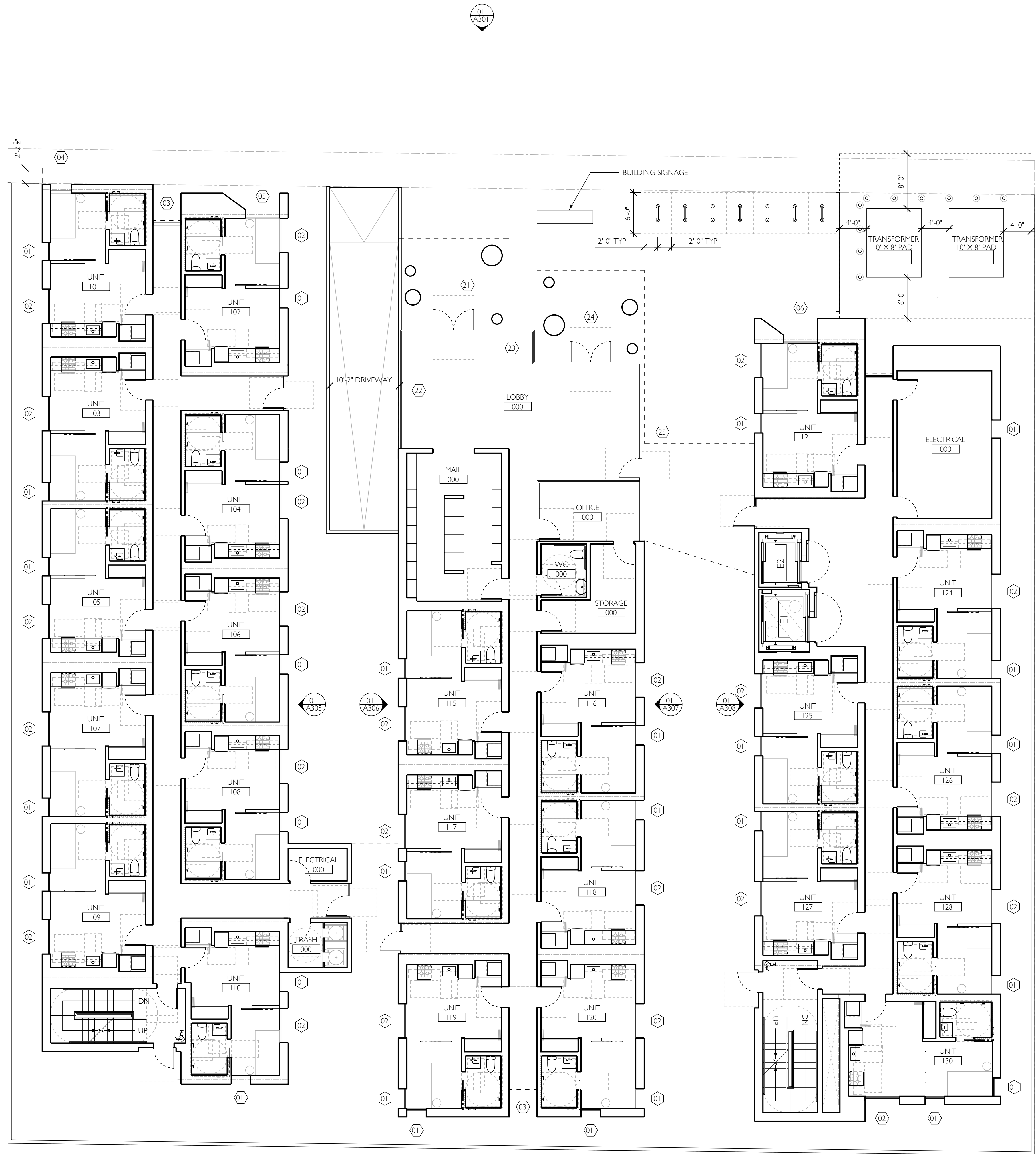
SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925.746.6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

LEVEL I
FLOOR
PLAN



01 LEVEL I FLOOR PLAN
SCALE 1/8" = 1'-0"

A201

CLIENT /
HFM CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

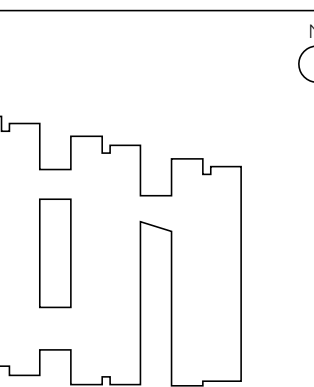
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BERCOURT & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

LEVEL 2
FLOOR
PLAN



01 LEVEL 2 FLOOR PLAN
SCALE 1/8" = 1'-0"

A202

CLIENT /
HFM CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

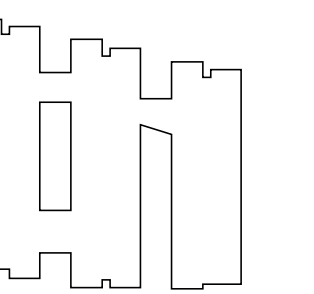
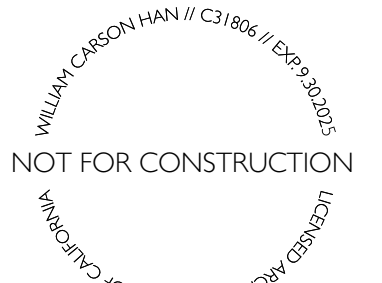
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310 433 4594

STRUCTURAL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SHORING /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925 746 6000



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HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

**LEVEL 3
FLOOR
PLAN**



01 LEVEL 3 FLOOR PLAN
SCALE 1/8" = 1'-0"

A203

CLIENT /
HFM CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

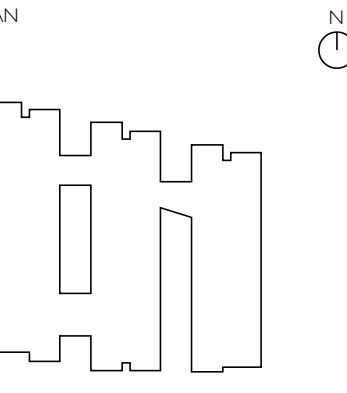
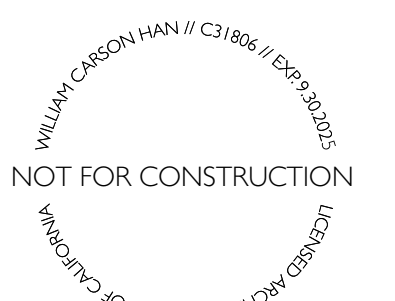
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BERCOURT & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 433 4594

STRUCTURAL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

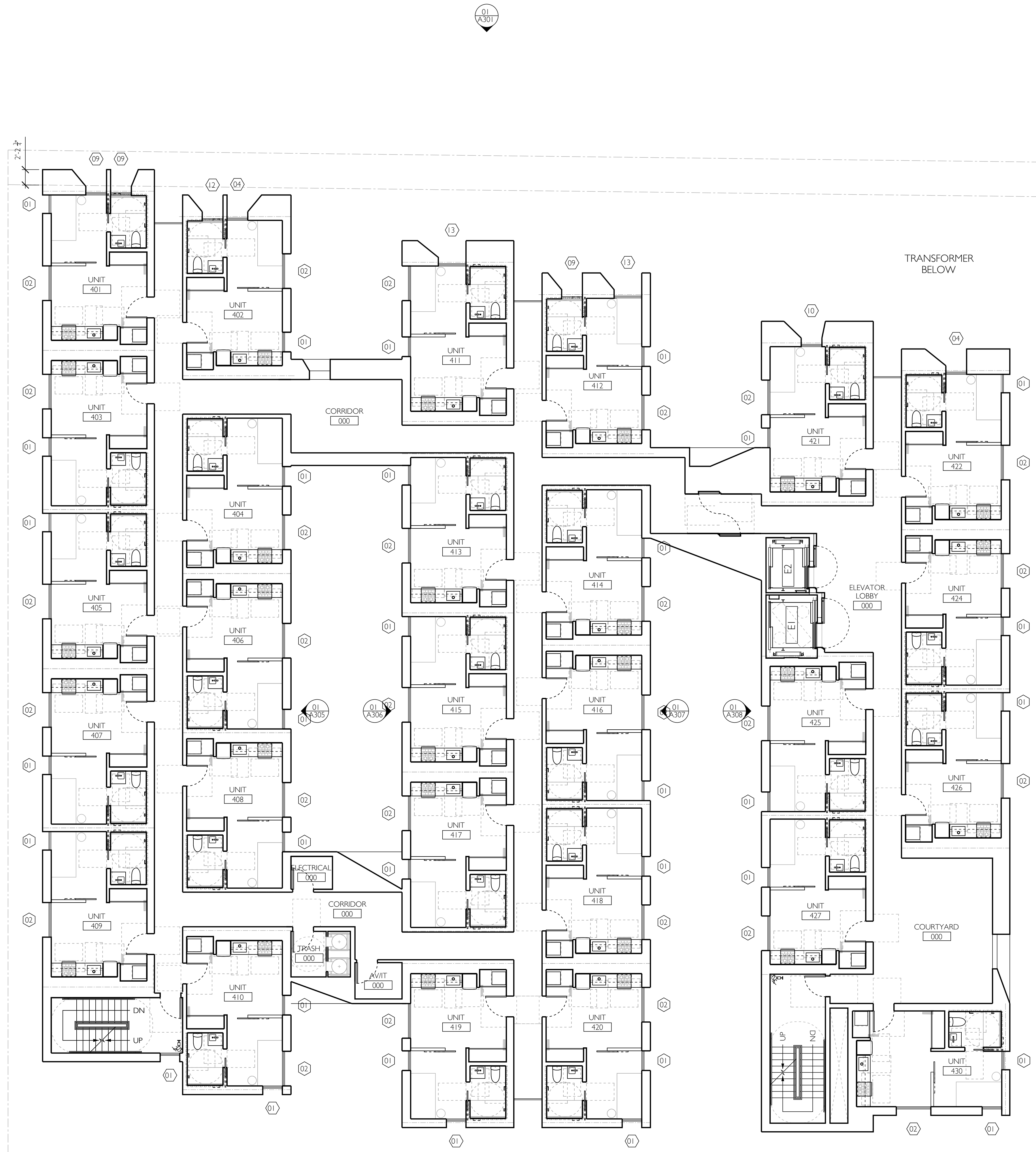
SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

LEVEL 4
FLOOR
PLAN



01 LEVEL 4 FLOOR PLAN
SCALE 1/8" = 1'-0"

CLIENT /
HFM CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

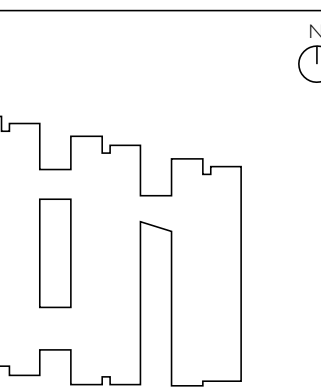
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 433 4594

STRUCTURAL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

**LEVEL 5
FLOOR
PLAN**

A205



01 LEVEL 5 FLOOR PLAN
SCALE 1/8" = 1'-0"

CLIENT /
HFM CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BERCOURT & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

**LEVEL 6
FLOOR
PLAN**

A206



01 LEVEL 6 FLOOR PLAN
SCALE 1/8" = 1'-0"

CLIENT /
HFM CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310.919.0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310.433.4594

STRUCTURAL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SHORING /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925.746.6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

LEVEL 7
FLOOR
PLAN



01 LEVEL 7 FLOOR PLAN
SCALE 1/8" = 1'-0"

A207

CLIENT /
HFM CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

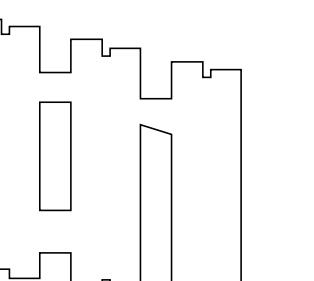
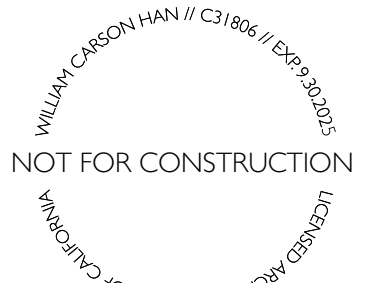
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

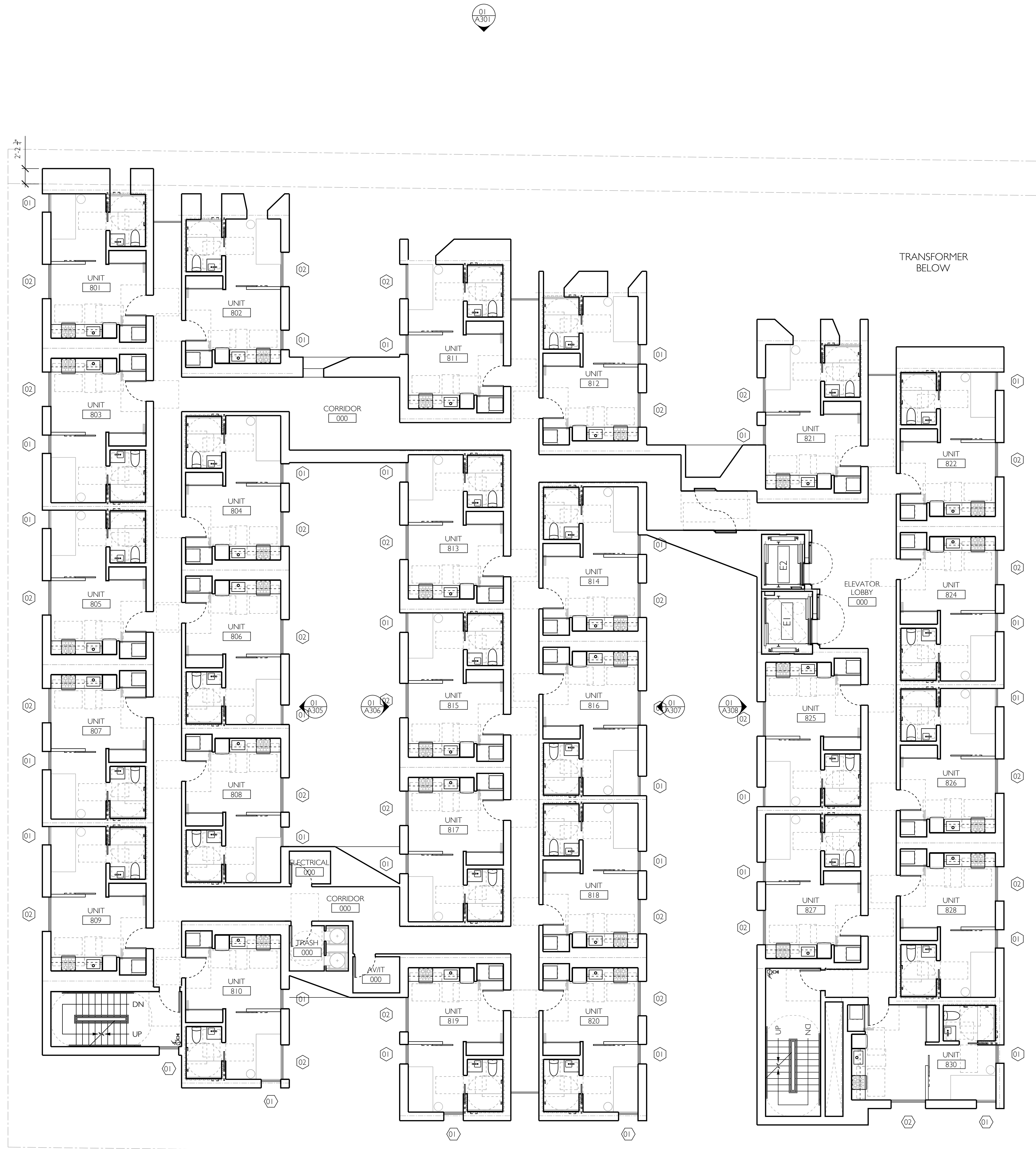
SURVEYOR /
ABI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

LEVEL 8
FLOOR
PLAN



01 LEVEL 8 FLOOR PLAN
SCALE 1/8" = 1'-0"

A208

CLIENT /
HPR CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

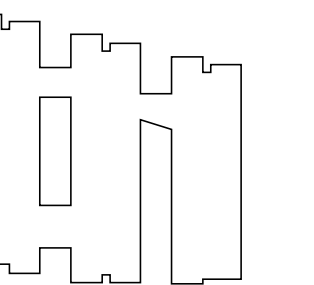
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BERCOURT & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 433 4594

STRUCTURAL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000

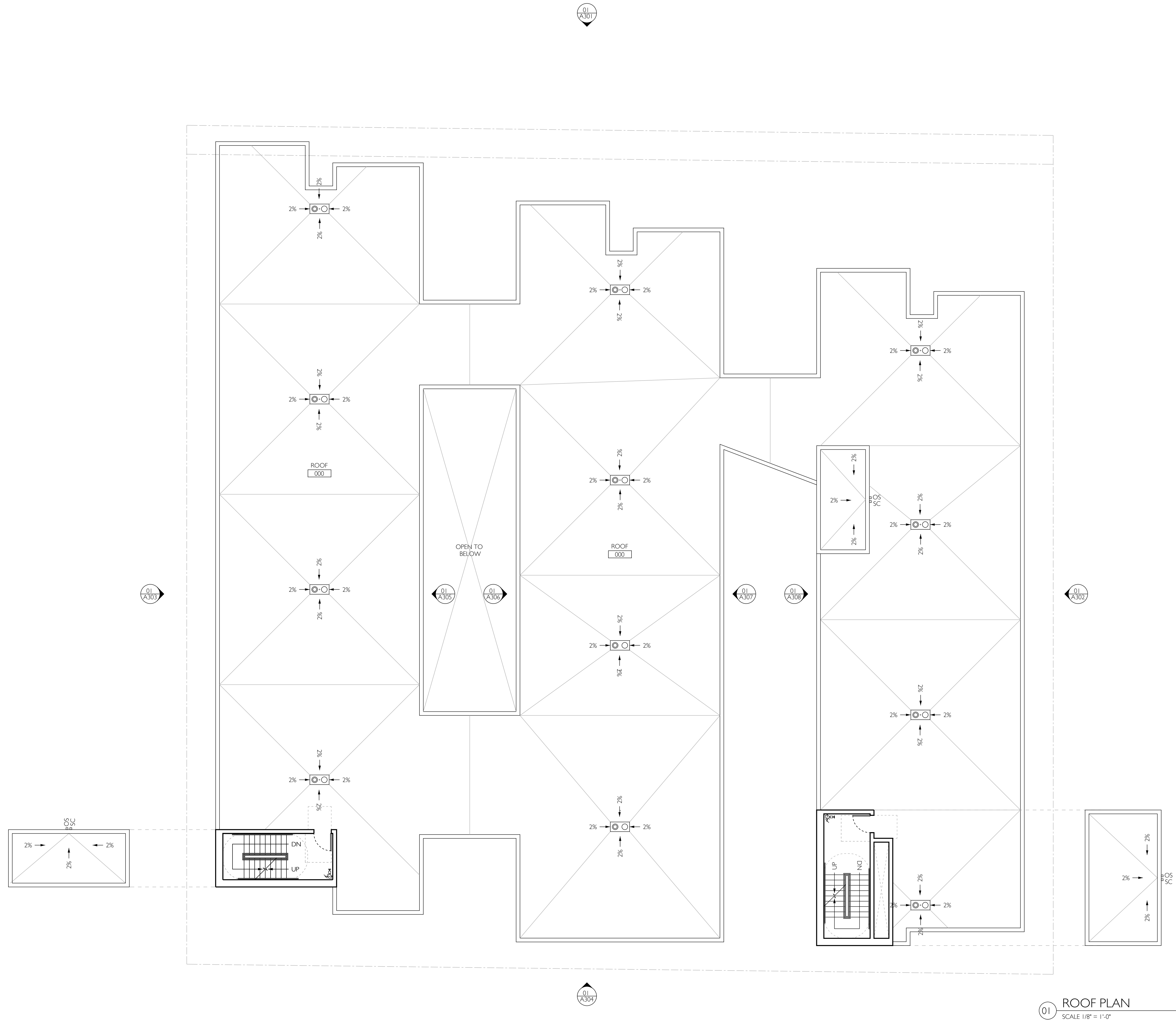


7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

**ROOF
FLOOR
PLAN**

A209



01 ROOF PLAN
SCALE 1/8" = 1'-0"

CLIENT /
HFN CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213 239 9700

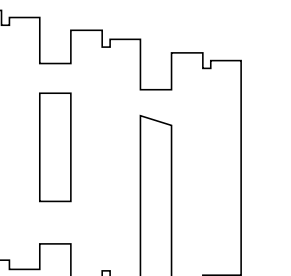
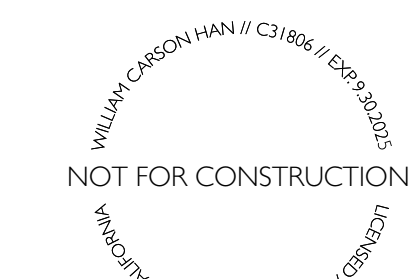
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310 919 0919

LAND USE CONSULTANT /
BERCUMER & COMPANY
1025 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310 435 4594

STRUCTURAL ENGINEER /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213 239 9700

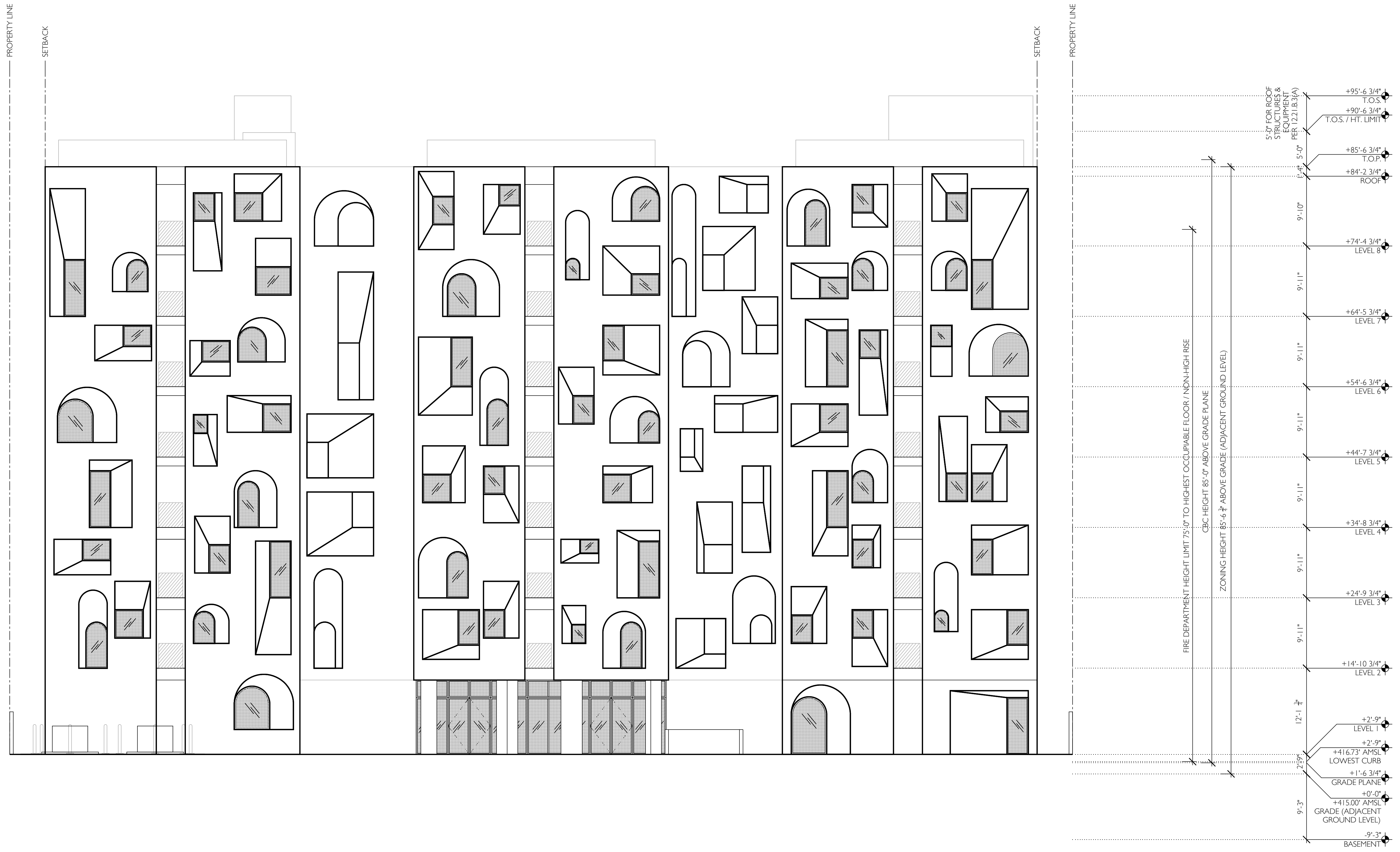
SHORING /
LABBE FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213 239 9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925 746 6000



7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN



01 NORTH ELEVATION
SCALE 1/8" = 1'-0"

CLIENT /
HFN CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

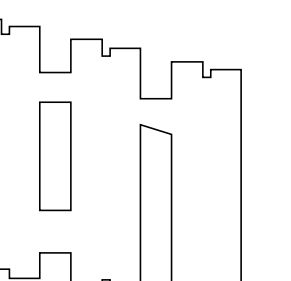
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1025 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

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T 213 239 9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000

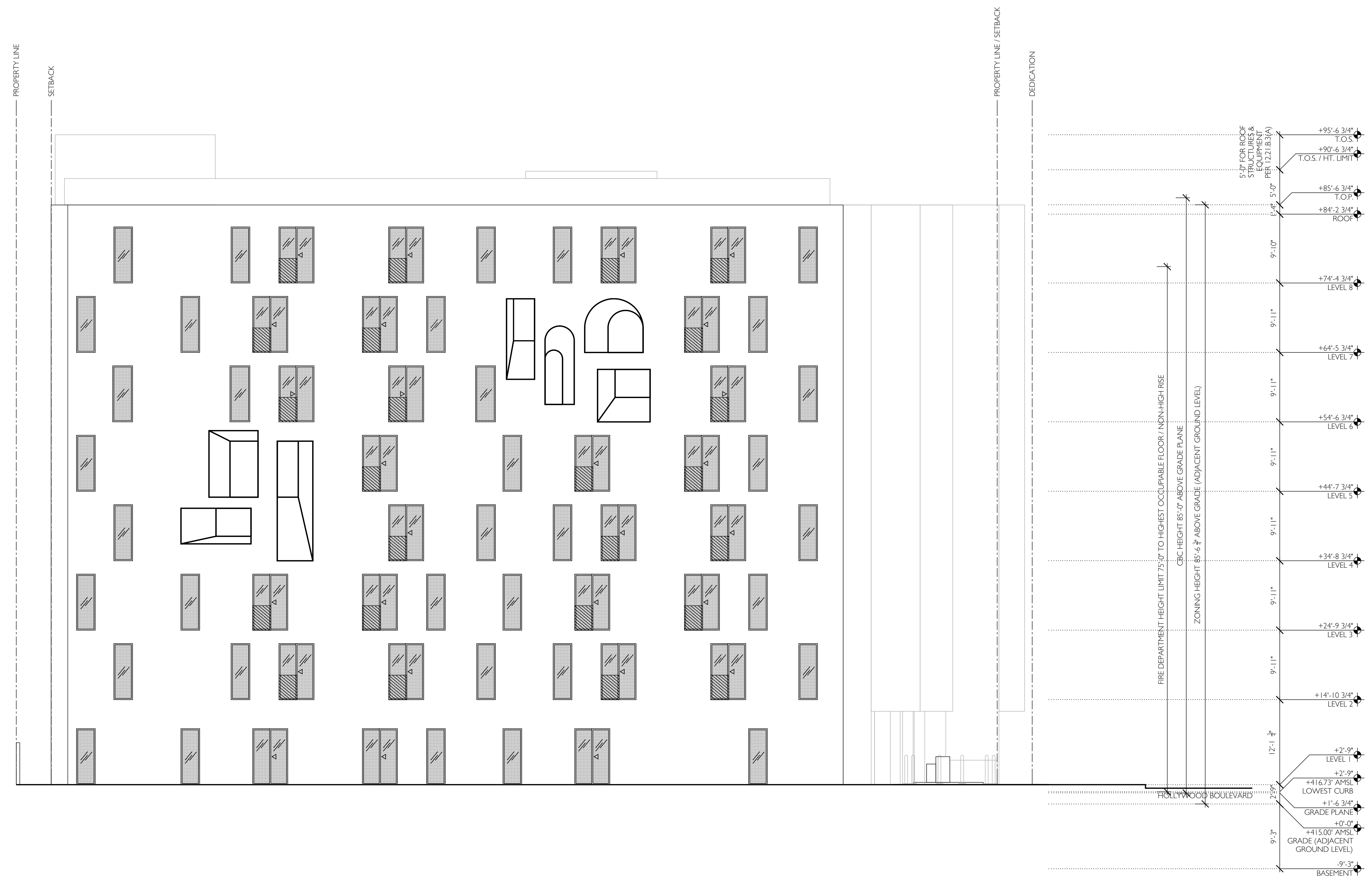


7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

EAST
ELEVATION

A302



CLIENT /
HFN CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

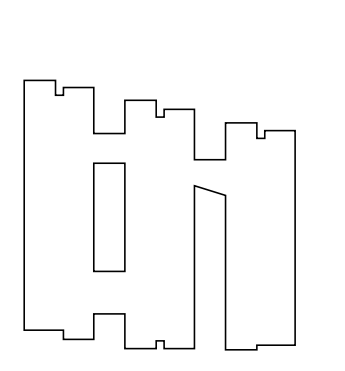
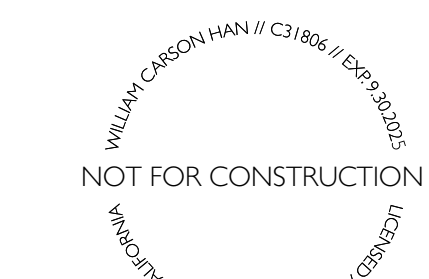
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1425 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310 435 4594

STRUCTURAL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SHORING /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925 746 6000

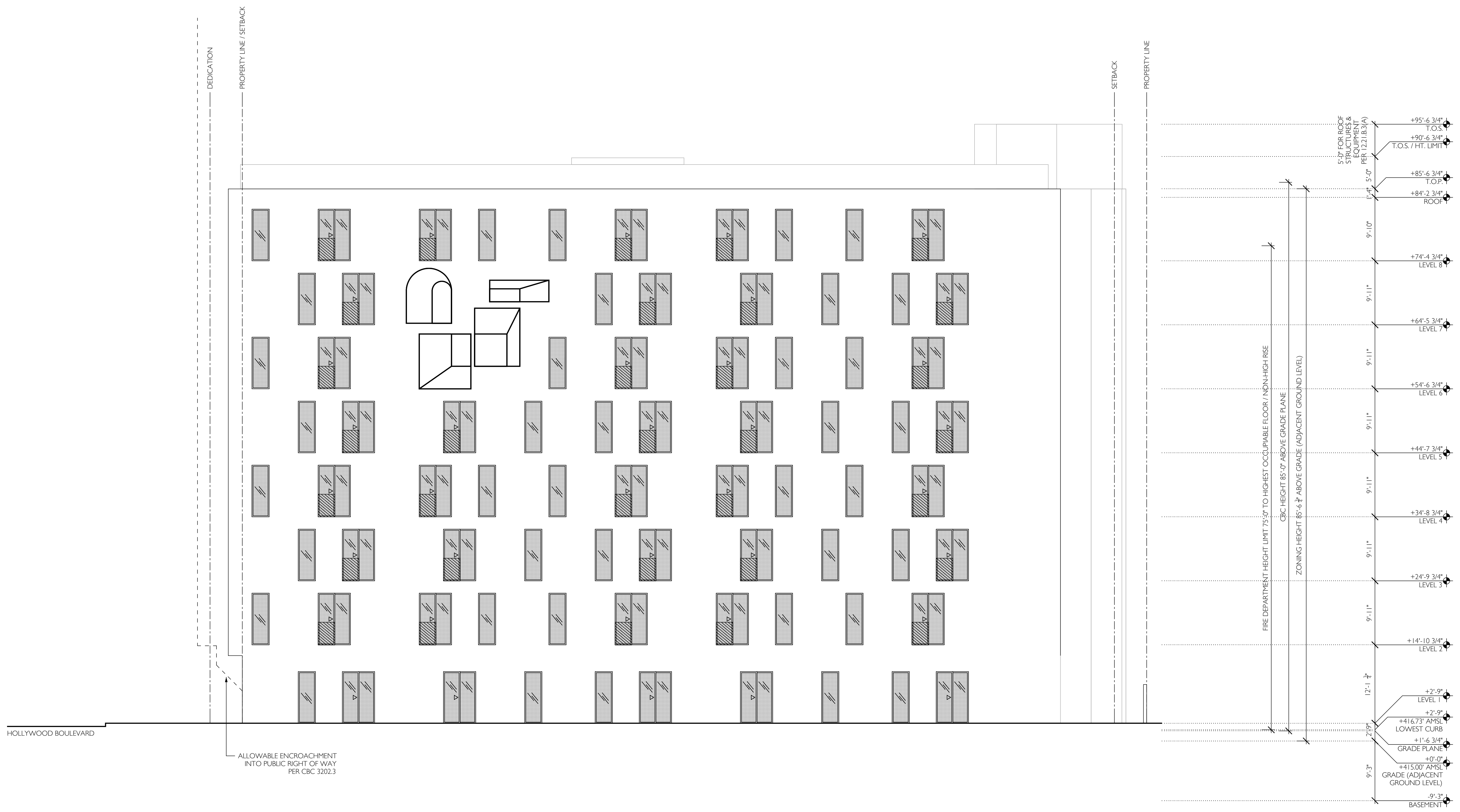


7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

WEST
ELEVATION

A303



01 WEST ELEVATION
SCALE 1/8" = 1'-0"

CLIENT /
HFN CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

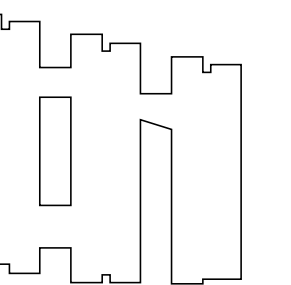
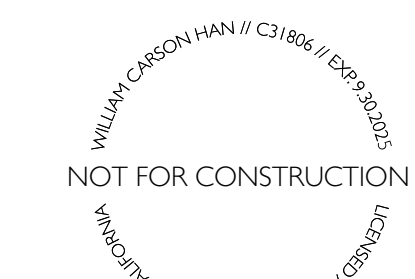
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000

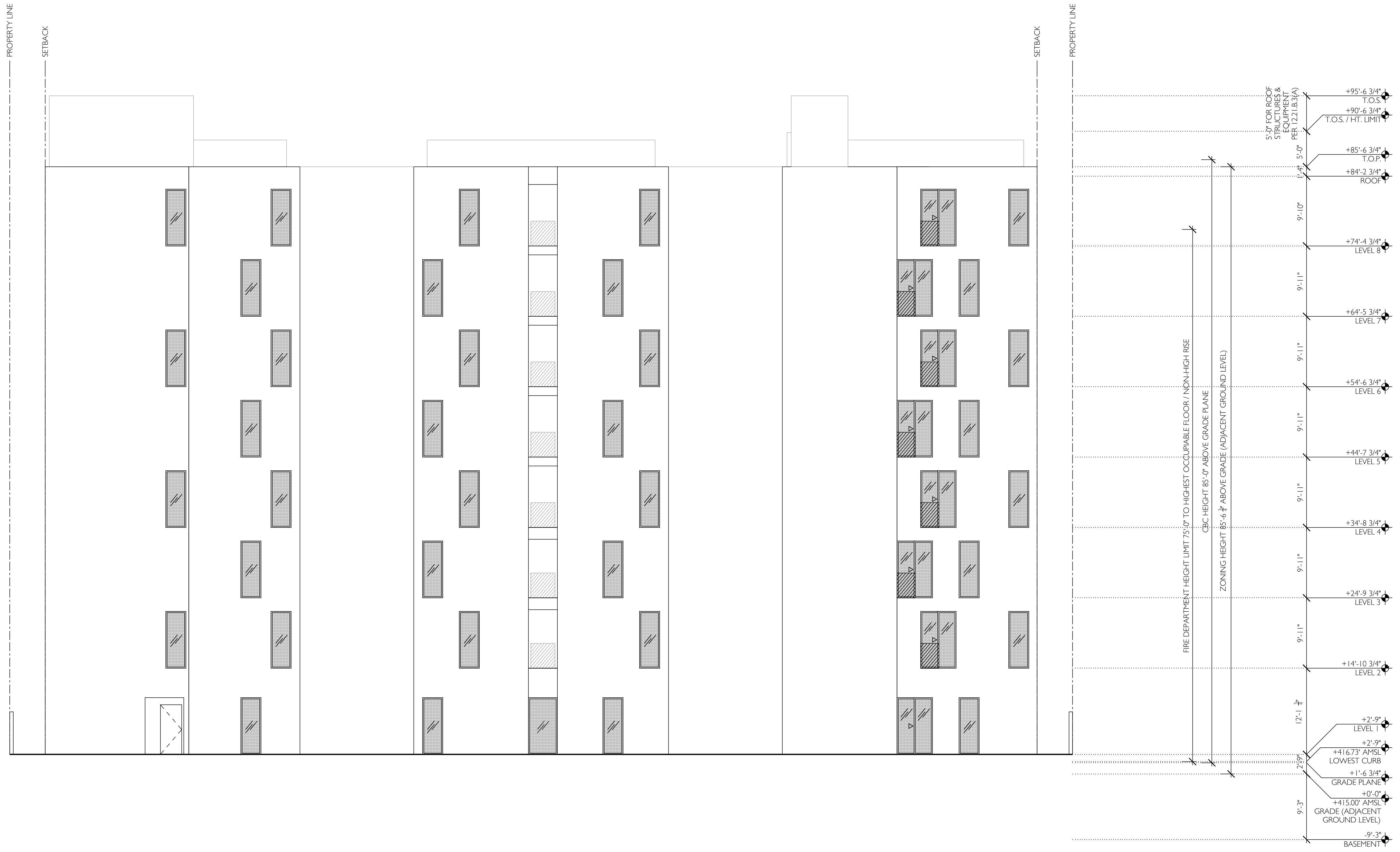


7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

SOUTH ELEVATION

A304



01 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

CLIENT /
HFN CORP
977 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213 239 9700

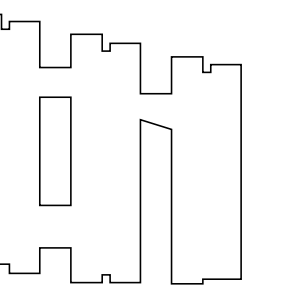
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1025 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310 435 4594

STRUCTURAL ENGINEER /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213 239 9700

SHORING /
LABB FLANK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213 239 9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925 746 6000

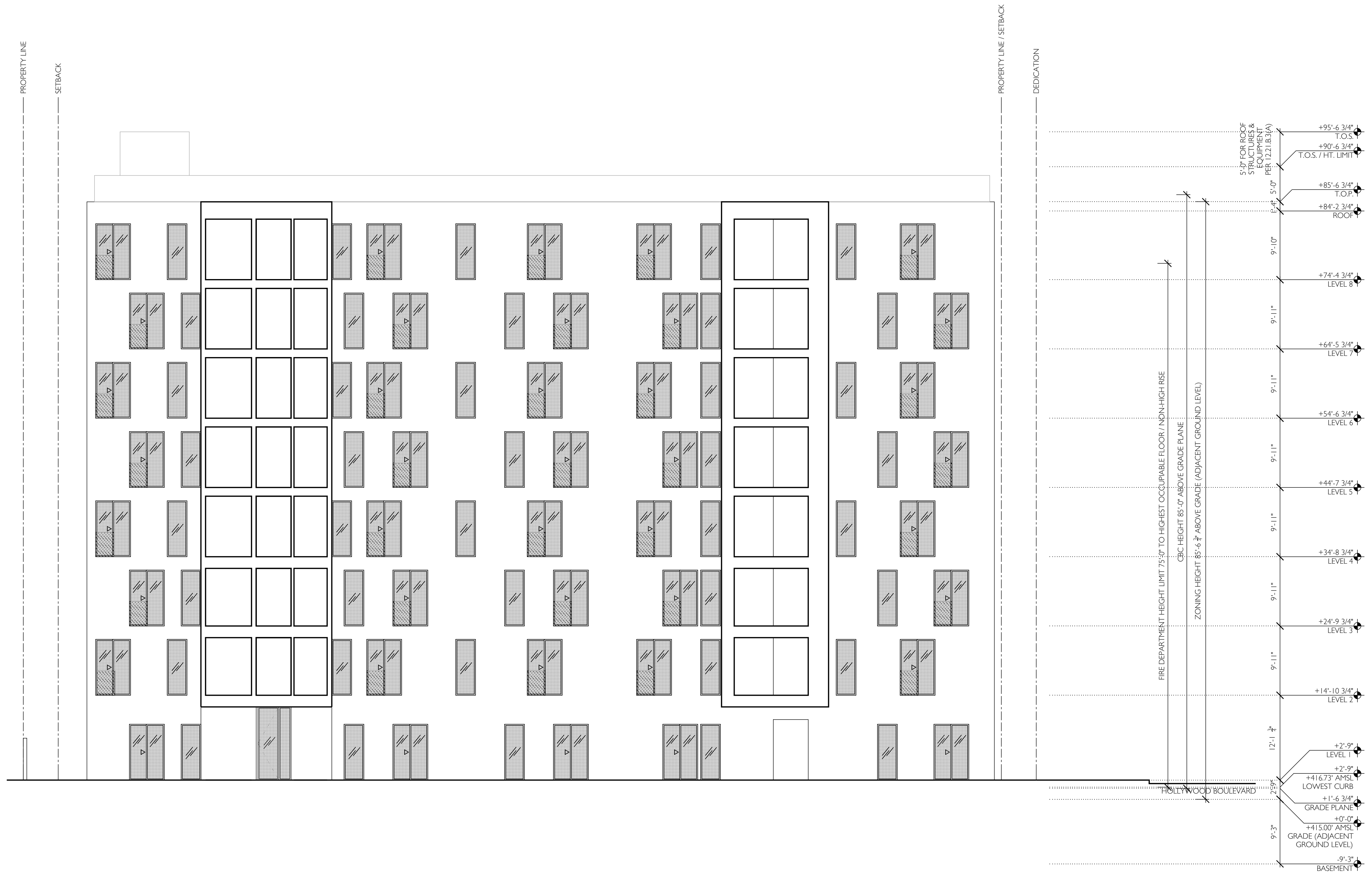


7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

WEST COURTYARD
WEST ELEVATION

A305



01 WEST COURTYARD WEST ELEVATION
SCALE 1/8" = 1'-0"

CLIENT /
HFN CORP
9777 WILSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

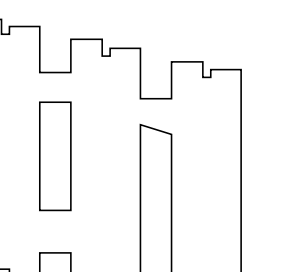
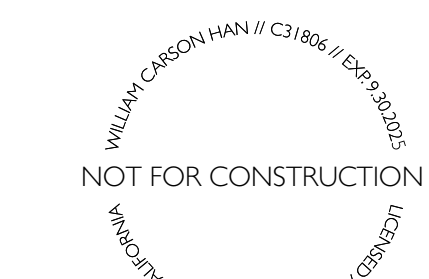
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T. 310 919 0919

LAND USE CONSULTANT /
BERCUM & COMPANY
1425 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T. 310 435 4594

STRUCTURAL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SHORING /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T. 213.239.9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T. 925 746 6000

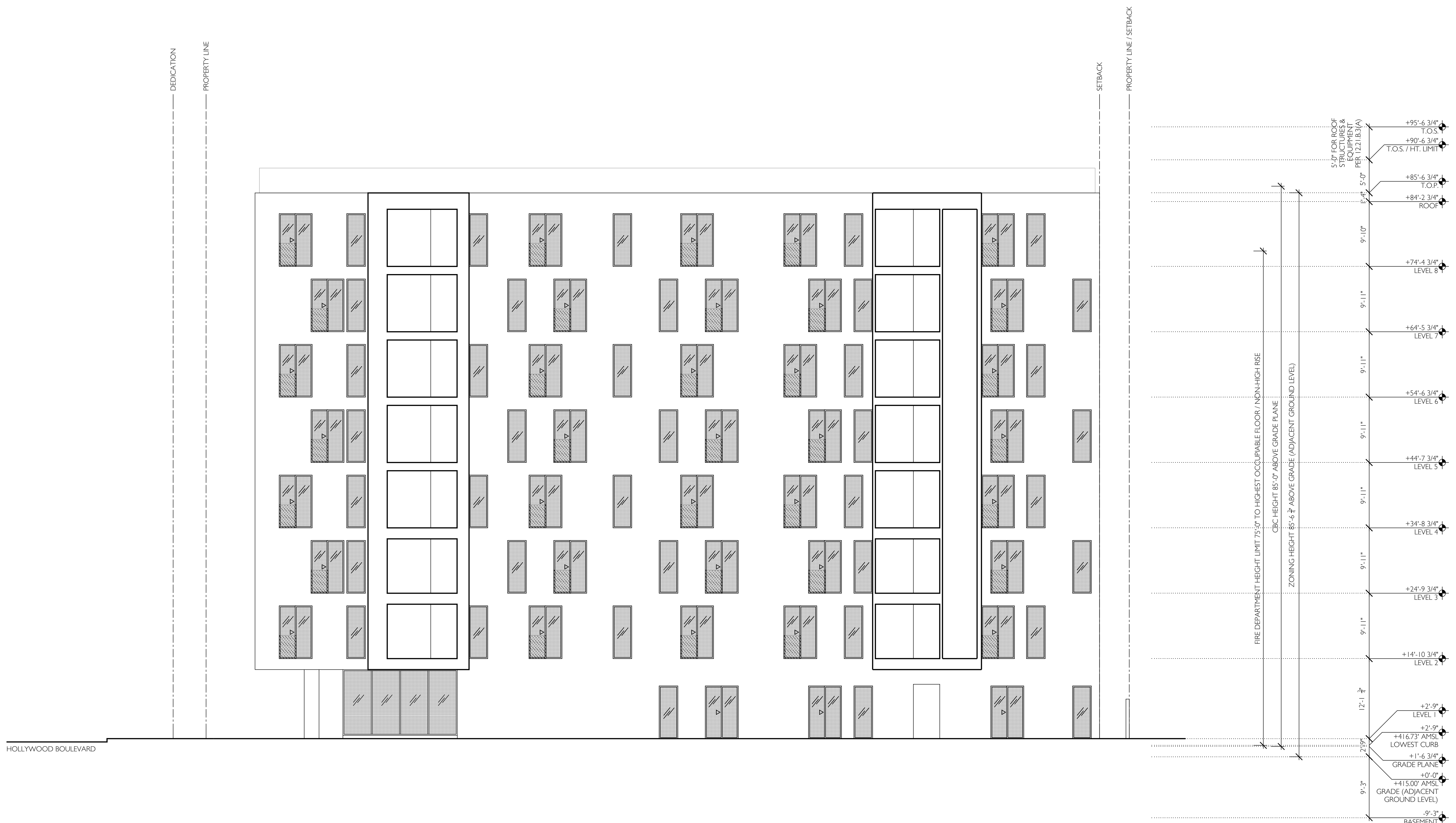


7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

WEST COURTYARD
EAST ELEVATION

A306



01 WEST COURTYARD EAST ELEVATION
SCALE 1/8" = 1'-0"

02 / CLIENT & TEAM

CLIENT /
HFN CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

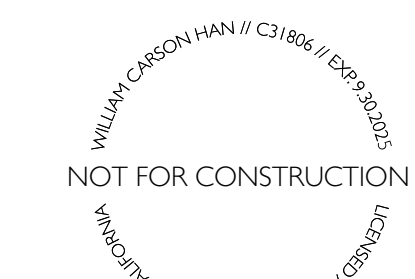
LAND USE CONSULTANT /
BEROUKHM & COMPANY
1625 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 433 4594

STRUCTURAL ENGINEER /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

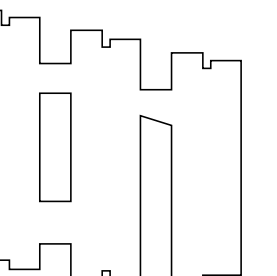
SHORING /
LABBE FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000

03 / STAMP



04 / KEY PLAN



05 / PROJECT NAME & ADDRESS

7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

06 / REVISIONS

NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

07 / SHEET TITLE

**EAST COURTYARD
WEST ELEVATION**

08 / SHEET NUMBER

A307



EAST COURTYARD WEST ELEVATION
SCALE 1/8" = 1'-0"

CLIENT /
HFN CORP
9777 WELSHIRE BOULEVARD
BEVERLY HILLS, CA 90212

CIVIL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

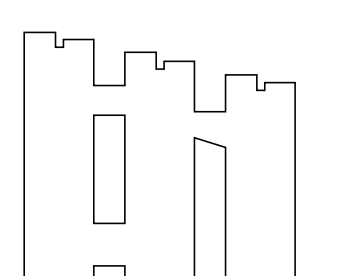
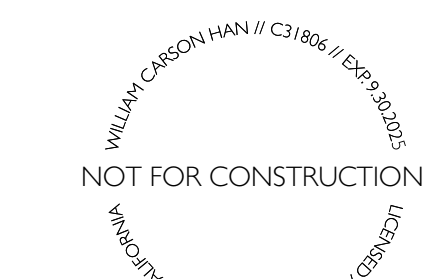
LANDSCAPE ARCHITECT /
64NORTH
719 N. FARFAX AVENUE, SUITE C
LOS ANGELES, CA 90046
T 310 919 0919

LAND USE CONSULTANT /
BEROUKIM & COMPANY
1025 VENTURA BOULEVARD, NO. 425
ENCINO, CA 91436
T 310 435 4594

STRUCTURAL ENGINEER /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SHORING /
LABB FLUNK + ASSOCIATES
319 MAIN STREET
EL SEGUNDO, CA 90245
T 213 239 9700

SURVEYOR /
A&I CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
T 925 746 6000



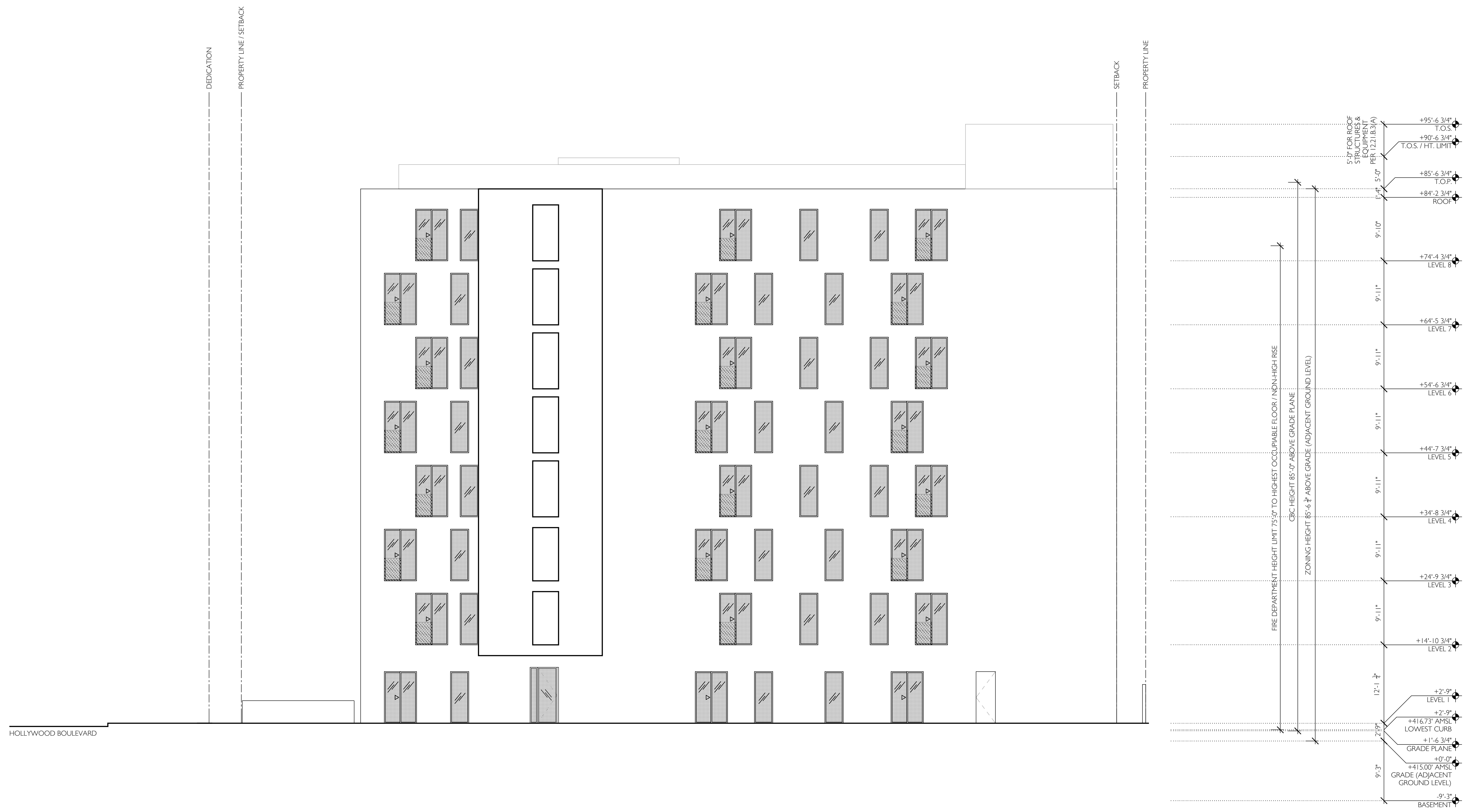
7762-7770 WEST
HOLLYWOOD BOULEVARD
LOS ANGELES, CA 90046

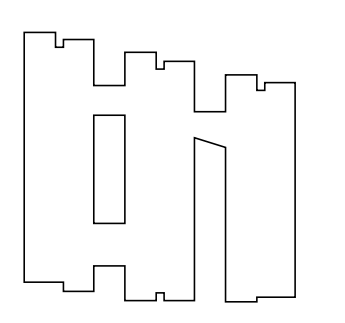
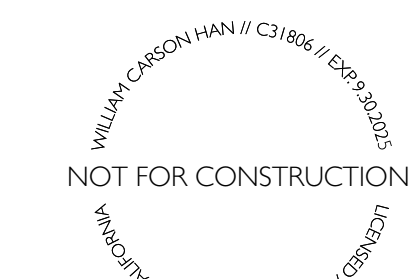
NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN

**EAST COURTYARD
EAST ELEVATION**

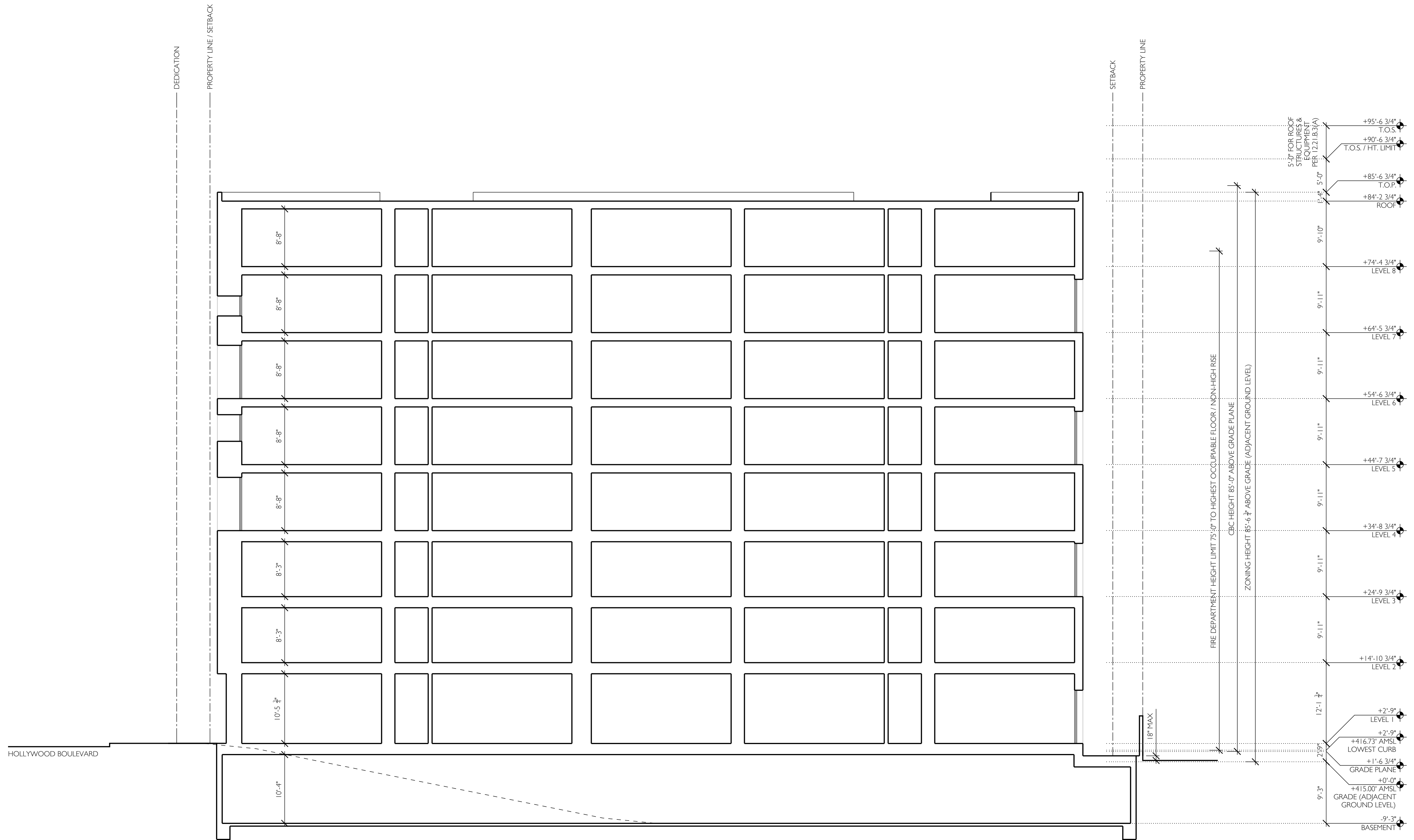
A308

01 EAST COURTYARD EAST ELEVATION
SCALE 1/8" = 1'-0"





NO.	DATE	DESCRIPTION
01	01/2024	SCHEMATIC DESIGN



01 NORTH-SOUTH SECTION
 SCALE 1/8" = 1'-0"